

Prefigurative Architectures

Kathleen Lucas

FOSS Box

PARK(ing) Day

Umbrella Movement

Waterfront Atlas

Chicoco Radio

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credit: Library of Congress(1917, found at www.loc.gov)

Introduction

"How do you move from grievances to action?"
Salvador Martí-Puig

During the 2016 University of Manchester workshop series with Leandro Minuchin, we began to develop an understanding of the roles in which spatiality can hold in progressive activism. As a way of demonstrating a social ideal or movement in reality.

Through a separate study of homelessness in the Wai Yin Centre in Manchester's Cheetham Hill, we have critically analysed theories around urban activism. To effectively achieve this social prefiguration we looked to other practices to understand how to accurately represent the ideologies of the affected.

"Within the ongoing political practice of a movement ... those forms of social relations, decision-making, culture, and human experience that are the ultimate goal." Boggs (1977)

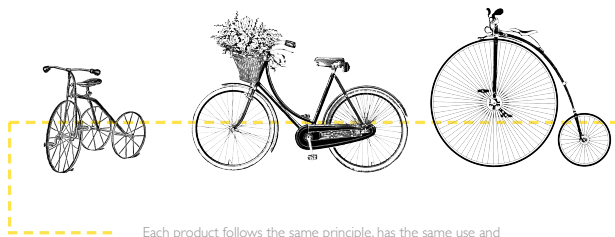
I believe this is the most important thing to consider, and where the importance of community engagement and perspective is clear. To prove theories of inequality I believe it is essential to know the feeling of equality. To know repression is

to understand freedom. How to change reality, is to know reality.

If this is so, it is only true that to disprove a system is to build a reality that exercises a better way of living. This cannot be done by drawing the future because someone can always disprove it, or show the merits of the system as it currently is. By testing the solution in the present allows the community to understand the faults in the current system. The only way to do this is to construct it now.

The following projects are a selection of practices, projects or occupations that I have found the most aligned to the future that I would like to see.

I will discuss how these projects express prefigurative characteristics through the integration of dominant actors, the consideration to materiality, design process, economic viability and dissemination of knowledge which I understand are all contributing factors to the successful representation of social ideals.



Each product follows the same principle, has the same use and function but provides a different service for the user. Open source allows the individual to adapt the software they have been given to their own wishes.

Open Source Model

Previously technology such as computer software have been seen as valuable exchangeable assets, that are finite. The user cannot modify them, or challenge them, technologies have been held as a commodity until now.

Open source was introduced by Christine Peterson, as a corporate friendly synonym for Free-Software. To use free software is to make a political and ethical choice to exercise your right to learn, and to teach in the process. Those who chose to exercise these free values pool knowledge and research for others to build upon and enjoy.

Policy is in place to undermine this practice, where currently the user cannot share software and cannot dissect it to understand how it works.

The movement of free software proposes a contradiction to the commodification of knowledge, and breaks down these barriers allowing those who use it to explore their whole potential. By collecting a body of talented and ethical designers committed to the idea of sharing

knowledge with anyone, irrespective of discipline, 5,000 individual programs and tools have been listed in the FSF/UNESCO free software library for anyone to use. Everyone who participates in this way of thinking, helps to achieve the same goal, the most progressive community possible developing the most advanced technologies.

Free software's manifesto is the promotion of four freedoms:

The freedom use the product as you wish, for any purpose.

The freedom to study how the product works and is made, and change it.

The freedom to redistribute the product so you can help your neighbor.

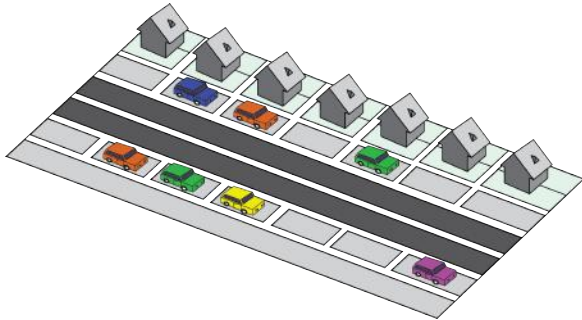
The freedom to distribute your modified versions to others. By doing this you can give the whole community a chance to benefit from your changes.

PARK(ing) Day

PARK(ing) Day 2011:

975 parks, 162 cities, 35 countries, 6 continents

parkingday.org



The meter payment of one parking space ensures the lease of that prime real estate for a duration of time as advertised on the meter. Rebar, first seized this opportunity in 2005 in central San Francisco transforming one single space into a temporary public park for 2 hours, when the meter ran out the team at Rebar simply rolled up, packed away their park; they removed their tree, bench and Astroturf leaving no trace.

The team at Rebar noticed the contradiction in exchange and use value of these pockets of real estate in San Francisco, and used it to their advantage by transforming the spaces that had minimal value to create maximum effect.

This temporary intervention enabled Rebar to explore the potential of the temporary lease for the land to potentially extend the value. To provoke a critical examination of the values that generate the form of urban public space. The project grew in value again when a single image (right) of the intervention went viral.

The group consequently realised the value of the project as an open-source medium when they were requested to provide interventions in cities around the globe. Rather than simply replicating the project elsewhere the team promoted the project by creating a user manual to help the public "empower" their own spaces. (Rebar 2014)



credit: Unknown (found at parkingday.org 2016)

"Providing temporary public open space...
one parking spot at a time."

parkingday.org

In the same way that Harvey (date) describes the use value and exchange value of housing, there is an established contradiction in terms of use and exchange of the space outlined for parking. This can be explained within the Parking day manifesto;

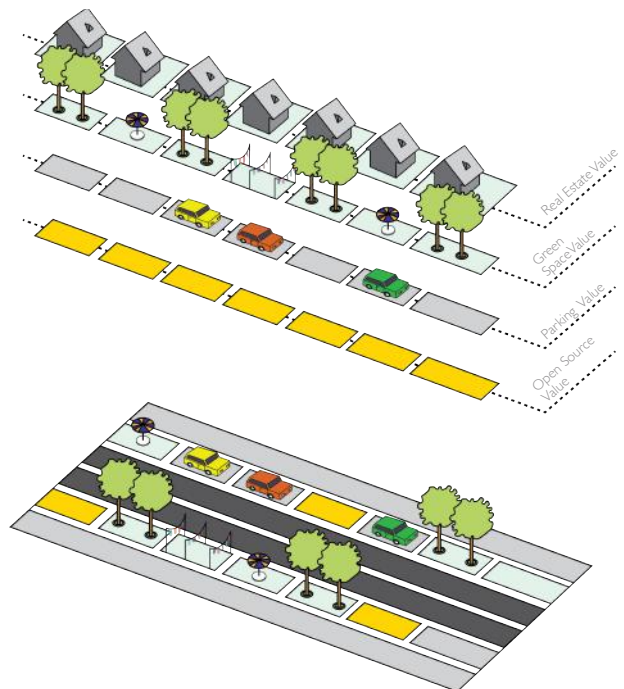
"'Niche spaces' are undervalued, or valued inappropriately for the range of potential activities within them." Park(ing) day 2014

Park(ing) day has continued to expand and since, addresses a variety of social issues through the same concept. These interventions range from, clinics and bars, to urban farms and political seminars, all addressing the value of the potential of space as a commodity.

The open source model strengthens these interventions, by allowing organizers to draw upon local issues in a global context. The glue between these projects is that they all need some public, urban presence, though the triggers might be different. The reason that they had to turn to the parking space was due to the fact there was no space left for them in the city.

Each Intervention supports the notion of empowering people to redefine the space available to them to suit their specific community needs. Each intervention now makes clear, how the society values these new experiences as a commodity, for the price of the meter.

Parks for socializing or play, the enjoyment of spaces with friend, to sit and read are personal experiences that communities feel should be expressed freely in their city, which is not the case. There is a lack of space, and consequently the space is used for things that are more beneficial commercially. However these pockets of freedom now represent an Utopian vision, an ideal city being hacked by its residents. Stimulating critical debates about how these spaces should be used if its not for parking.





credit: 9 x 18 (found at 9x18.org 2016)

According to Zillow Home Value Index, today's average house price per square foot in San Francisco is \$936 and the rental price is \$3,364.5, that estimates at an daily rate of \$112.1: one average sized space would be \$55

In reality the price of a prime, centrally located space for a whole day is \$25.5. That's just over a dollar per hour; not even a cent per square foot. \$1527 a month.

This is not the point Rebar are trying to make through their intervention of green space however, it is an important point to understand as in many cases rent prices are issues that communities chose to highlight through their own interventions. According to California Association of Realtors; only 11% of its residents in San Francisco can afford to pay for the average home there. In

comparison to the whole US average of 58%.

So why is this?

If the land is not as expensive to rent as the housing market would lead us to believe, (we can see this is true from the value of the 20ft² parking space) is it only the potential use of the plot that is worth paying for.

Organisations across the world have worked together to prove that this is neither the case. Examples can be found of individual parking spaces and collections of spaces being used for a variety of different purposes, including housing. A study of which can be found above in the 9 x 18 study by Peterson, Golan and Rich 2014.

How would you fill yours?

Fossbox

2014

Technology should always work around people and not the other way around!

(fossbox.org, 2016)



credit: Amardottir, T (2013)

Foss Box are a creative digital design agency who work collaboratively to advocate positive social change through community led, design based innovations. Their goal is to empower communities, in a ever-changing, demanding and challenging environment which is increasingly more driven by technology.

Non-profit organisations are struggling to adapt to these challenges, unable to invest in the progression of their technologies and of funding dynamics. As the relationships between organisations are changing, the founders believe innovation is key to the to the preservation.

Fossbox encourage these organisations to establish a new kind of relationship with their donors, delivering services more efficiently. They develop technologies for the organisations, but their inclusive design development enables the organisations to be left with skills for future development.

The most defining characteristic about Fossbox however is their dedication to openness. Throughout their literature both online and in the presentations that they give, they are honest about the ways in which openly working, sharing technologies and knowledge, has been beneficial to their own goals - as well as helping others to succeed. Sharing knowledge in their own research and design process results in a more thorough product to share with the public.

Their dedication to this method is clear in the research that the three members carry out, in their consultancy and in their individual approaches to technology.

We use open technologies, open innovation and open design methods to implement services which make these value-driven practices work in the real world.

(fossbox.org, 2016)

Fossbox

2013

Floss: Free/Libre and Open Source Software

Flossie

Floss was founded as a reaction to the observation that within open source communities, only 1.1% were women.

Flossie provides a platform to bring together FLOSS women, a collection of people that embody the values of free software, from all disciplines. In 2013 when I was lucky enough to be involved, there were representatives of global corporations such as Google present, experts in coding and script, mathematicians from universities such as Imperial College, Architects and Artists. The presentations were not catered to a specific audience but rather to those who were eager to learn about how they might be able to use the skills of the presenter to achieve something great.

The products that we developed whilst attending this conference ranged from a 'quacking' banana, to a communicatory device for those who suffer from domestic abuse. However more importantly it showed the designers the potential of FLOSS for digital arts and social innovation. Flossie intended to bridge the gap between those who think about freedom of technology to those who design and can incorporate the innovations spatially. Bringing the benefits of open thinking to artist and entrepreneurs and the insights of diverse innovators to FLOSS development.

In bringing together women from different backgrounds Flossie is the catalyst for diverse ways of thinking to spark new ideas and creative projects.



top and below credit: Amardottir, T (2013)



Umbrella Revolution Movement

2014

"We are not seeking revolution. We just want democracy!"

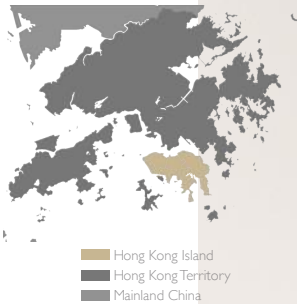
Joshua Wong (found in Chan and Chiu, 2014)

The project began with a group of students from the University of Hong Kong post-Occupy democratic movement who decided upon a sit-in protest to demonstrate their wish for universal suffrage. Currently the SAR, since the hand over in 1997, is governed by the mainland China, who coin the term, one country, two systems.

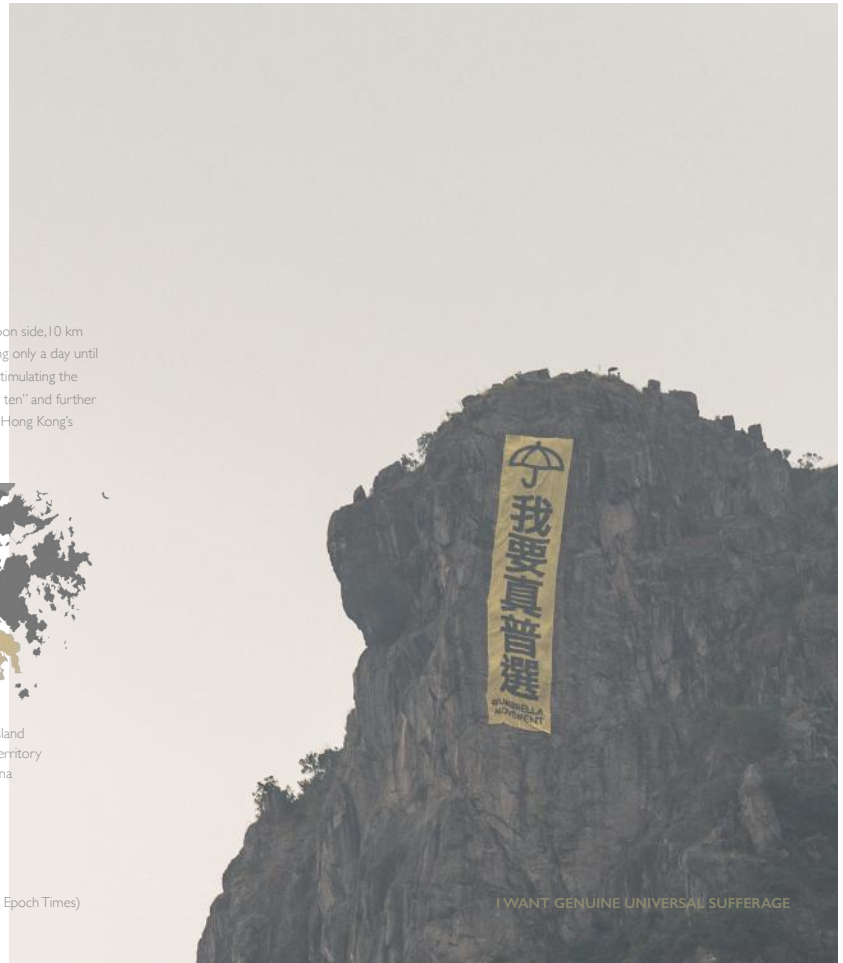
was hung on Lions Rock, Kowloon side, 10 km from Admiralty. The Banner hung only a day until the government dismantled it, stimulating the campaign "Demolish one, Hang ten" and further banners were hung on each of Hong Kong's mountains.

Occupy Central is the original title of the occupation that took part in the heart of Hong Kong's Central Business District, Admiralty, in October 2014. The largest occupation, lasted nearly three months and attracted thousands of individuals to take to the streets to sit for the right to democracy.

The entire region, which spans further than the island itself became a political canvas for this period. Banners were originally hung in all universities, the majority of which are Cantonese, and international students. However this expanded, on October 23rd, a banner stating "I want genuine universal suffrage"



credit: Lopez, 2014 (found in Ong, 2014, Epoch Times)





Umbrella Flag

The motto "one country, two systems" refers to the transitional period of reintegration of Hong Kong into Chinese State, yet allowing those who live there to live according to the economic and political customs that they are accustomed to.



These are images that I recorded whilst attending the protest in 2014.



_credit:Times LIVE (2014)

On their final protest near all hope was lost of political independence as the protest escalated to violent demonstration. Many protesters were impounded as a result. Seen as a weapon, the umbrella was adopted unintentionally as a canvas for propaganda for their cause. It now defines the fight.

The umbrellas were used originally when government issued the use of pepper spray to evict protesters from their adopted territory. China swiftly changed tactics to remove propaganda which began to evoke the suggestion of a revolution, a term coined by the western media, but not the intention of the demonstrators.

In terms of the potentiality of the umbrella,

traditionally such a commodity in Hong Kong's hot and temperamental climate, for protection from the sun. No longer an ordinary object, the umbrella becomes essential, an impenetrable field of privacy, shielding poisonous chemicals and those who are using them. Ironically, the fragility of the umbrella and the peaceful protest is lost on the attackers, consumed by all that it now represents.

Once the umbrella is coined by the western media as a symbol of colourful revolution it transformed into potential empowerment and a political motif. This potentially detrimental to the cause.

The space beneath the canvas of the umbrella represents the occupation of the individual holding it. An inclusive and hospitable sign under which to gather, extending the fabric of democracy.



Waterfront Atlas

2013

"Development is a part of our rights"

Anon (found in Rebel Architecture, Working on water, 2014)

Makoko Floating School.

Mokoko is a historic community of estimated 100,000 people located close to the city of Lagos, Nigeria. Though the living conditions are very poor, the city thrives, with wooden houses made on stilts, no roads and no land, transportation is a canoe, yet their infrastructure surpasses this obstacle. Their industry of fishing and sawing has succeeded for nearly 100 years. The people of Mokoko have adapted to living and constructing on water with minimal means and have developed building techniques from indigenous materials.

However, rising sea levels, flooding and increased rainfall is challenging Mokoko people to rapidly adapt their traditional techniques, like many other water-based communities. Their homes, though situated on water are fixed in the thick mud and rising sea levels is becoming a daily reality.

The floating communities in Lagos have settled historically as fishing communities, they don't own the land, or the water on which their homes lay but as fishermen mostly, they have grown to know it as their home. This self-sustaining community, and many others like it are now under attack. The

government has destroyed many of the homes, with only a notice of 24 hours to relocate for the intention of providing better infrastructure and development along these waterfronts.

The developments that they are keen to place here are not for those that will have been displaced and so there is nowhere for them to go. To resist this change, the community built, with architects NLE, a floating school as an expression of the type of positive intervention that the community would like to see. The design is a progressive example of sustainable, community-led design.



credit: Baan (2014)

"If people want development here, they have to partner with the people, who own the place"

Anon (found in Rebel Architecture, Working on water, 2014)





Waterfront Atlas

2013

"Development is a part of our rights"

Anon (found in Rebel Architecture, Working on water, 2014)

credit: NLE (2014)

Founded by their intervention in Makoko; Waterfront Atlas brings a collective ambition to provide an accessible platform sharing indigenous intelligence from water-based communities.

The platform was the 15th La Biennale di Venezia exhibiting the cultivation of knowledge under the intention of social, economic and environmental change worldwide.

"It is an opportunity for us to think, build, and live differently, by facing the challenges in this age of rapid urbanisation and climate change." NLE, 2016

In Makoko the group of architects, led by the community provided and immediate reaction to the problem in the form of their proposal. Once built they were able to provide real change, by capturing the interest of a global audience. The success of the project enabled the community to keep their centre, and demonstrate their enthusiasm for progressive change with community involvement.

This however is not the end of Mokoko's journey with NLE. The building collapsed and so at the Biennale an improved, industrialised version of the building was exhibited. The building has been adapted, the design incorporates a more adaptable design, for more uses. It can be assembled in 10 days by 4 builders, using prefabricated modules constructed from the same materials as the original.

Makoko is only an example of the potential available from knowledge sharing. In a different city, with a different community and a different set of skills the floating school could be something very different.

"It is just one of the many potential architectural, infrastructural and urban solutions for the collective development and inclusive urban regeneration of both Makoko and other waterfront communities around the world."

NLE (2014)

Chicoco Radio

2013 - Present

"When we came onto the streets in protest, they shot at us. But nobody can stop us singing, and the struggle is in our song"

Prince Peter (found on chicoco.fm, no date)

Chicoco radio is a community led project by those displaced by the displaced communities of Port Harcourt, Nigeria. As in the previous studies, thousands of people live in these floating waterfront settlements and they are all under attack. The governors intend for complete demolition.

This particular settlement Njemanze has been destroyed. In 2009 thousands of people were displaced, many were injured and one person was shot when the government began the process of eviction. Communities were given orders to evacuate their properties immediately, however chose to protest peacefully. Those who did leave were shot at.

After leaving their homes, no resettlement programme was provided. This community had been made homeless. The community campaigned and protested their rights, but the government relentless remove them. To reach out they built a media shed, and broadcast throughout the community sharing their rights. The shed was built by local people with local materials but they believe there cause deserves something more ambitious and visible.

Chicoco Radio will be their empowerment, a microphone to the voice of the people that until now, have been invisible to the system. Chicoco Radio will allow individuals to reach out as part of something bigger than themselves and speak up. To be part of the change, as Lefebvre (1998) proposes that the individual holds the right to transform and be transformed by their city, Harvey (2000) states that this transformation stems from collective power.

This is true of the Chicoco station, the individual became invisible in the space, in fact in their evacuation so did the whole community. The collective people power, with their funding, training and spatial presence, the enthusiasm for the cause extends far greater than the studio. From their floating platform residents will be able to demand their rights, campaign for change and celebrate their culture.

"Many voices make a city. Some people are trying to tear the city down, but we are city builders and this is our rhythm, our right, our voice".

Polo (found on chicoco.fm, no date)



credit: NLE (2014)

"Out of the ghetto; over the water; across the city:
I'm singing loud with Chicoco Radio."

Sira Dumedam (Police Baracks near Cemetery Waterside)

As other practices have realised the key to their empowerment is through, universal suffrage, knowledge, infrastructure the waterfronts realise that they have been left without a voice. They no longer have the right to their city by simply being there, because the system has taken it from them. But the system cannot take their voice away, their voice is their right and so they must be louder.



"I was always quiet at school, and I had never heard of Human Rights. I never dreamed that I'd be making Radio and speaking up for my rights"

Ngozi Andrew (found on chicoco.fm, no date)

The project is funded through crowd funding and to date has raised under a fifth of the 150,000 has been raised for the construction of Phase 2.

The design of which you can see in the image to the left.

The project is completely stimulated by the desires of the community, NLE were enrolled to design the studio with full contribution from the residents.

The residents believe that they are people of both the water and the land, and so they request that their new building represents this. The Architects have emphasised this in the design for Chicoco Radio Tower. The building is fixed to the ground, yet responds to the tide bobbing gently. It provides an extension of their water based community projecting into and above the land. A transitional point, and threshold between land and sea.

Once the funding has been raised, residents will build it, the design incorporates materials, such as indigenous timber, that can be sourced by local people as well as their own traditional methods of construction.

This is vital to the stability of the process, particularly in an environment where the individual

right to their home has been forcefully denied, that the process is inclusive of them. Herzberger (1991) explains that the idea of owning space is essential in the provision of hospitable environments.

"Offering opportunities for people to make their own markings, in such a way that it can be annexed and appropriated by us all as a place that truly belongs to them" (Hertzberger, 1991)

When the space belongs to them, the combined community will work to ensure its success. The community will no longer feel isolated within a space that alienated them, because they built the space.

Furthermore the community are opposing a system that alienated their decision to reside there. The system that authorised the destruction of their homes, and the development of a society that does not reflect the ideologies of the people indigenous to the area. To oppose this, the community will be developing progressively in a manner that they believe reflects the people that own the space.

credit: NLE (2014)

Conclusion

In each example within this booklet, the community has identified a challenge, a solution, and have prefigured a response to showcase it. In each case they have endured a reality where this challenge presented a problem for their day-to-day lives, and desired a future that overcame it.

Though the interventions range in scale, and funding, I believe that they all achieve this goal.

Park(ing) day is an expression of the city's right to free space; they identified a loophole within the policy to help them achieve this goal, however I believe that the success in this project lies in the scaling. One intervention on its own does not provide a solution to a global crisis: the lack-of-space. It is easy for the individual to become invisible, however the collective power of multiple interventions allows the prefigurative maker to be heard.

Park(ing) day have taken this further. To reproduce identical interventions in cities that do not reflect identical communities or problems would be redundant. The project has the scope to be manipulated in its design to suit the needs of the people within the community whilst still retaining the philosophy of the Park(ing) day solution. This makes the project truly open source. By identifying a problem and freely providing a solution actively

encourages the manipulation of their brief. The community learns about their rights, by experiencing the potential to change their own city. I believe this is prefigurative.

Harvey (2000) explains the importance of this stage, he states that to make a place your own is to exercise your right to more than existing. The process of changing your city, and contributing to a more positive experience of living allows the resident to do more than this.

The methodology of many of these projects allows the architect to engage, to teach and encourage, but the residents provide their own responses, and therefore a more accurate reflection of the future that they would like to be a part of resulting in empowerment of the community.

This ideology is the fundamental philosophy of Fossbox, they aim to provide the client with the skills that will enable them to be successful, Fossbox believes in the worth of these communities and realises that they are sometimes failing because their energies are less focussed on progression of technology and more on the social responsibilities and so the organisation bridges the gaps between the technology world and the social world. Allowing the organisations to use these processes and skills to progress further.

The same concept applies to the water projects, both communities never understood the importance or the significance of their human rights, because they were generally content with their situation. However the disruption of their lives allowed them to realise that they should no longer be invisible. The realisation of their rights, and the desire to share this realisation with their greater community is the driving force of their projects. The integral philosophy is that the experience of displacement is individual to each person that has been displaced. The impact comes from when each of these voices speak, together, therefore their collective community engagement is more important here. As Polo (no date) one of the interviewee's explained; "Many Voices make a city", for the rest of the world to notice them, and notice their cause their loudest voice must represent the whole city and not those who make the policy. This is what these projects aim to prove.

The umbrella movement takes this experience and has scaled it up even further; although it is a reactive protest for democracy, the organisation of hundreds of thousands of people gathered with one aim is testament to their cause. Since the movement represents an entire community of people from every walk of life, the umbrella serves the unifying feature for these communities. Everyone has one. It allows the individual to

appear bigger than they really are, the umbrella simply takes up more space, collectively they show impact and mass in the quantity. Just like the size of the challenge they are trying to face however the umbrella individually remains fragile, the people that are protesting are not hooligans, they are not committing a crime for freedom, much like the feminist movements. They simply are requesting something they believe is rightfully, and deservedly theirs.

Each of these qualities are extensions of the right to live. To truly live is more than to exist. I believe that the examples that provided in this booklet are testament to this.

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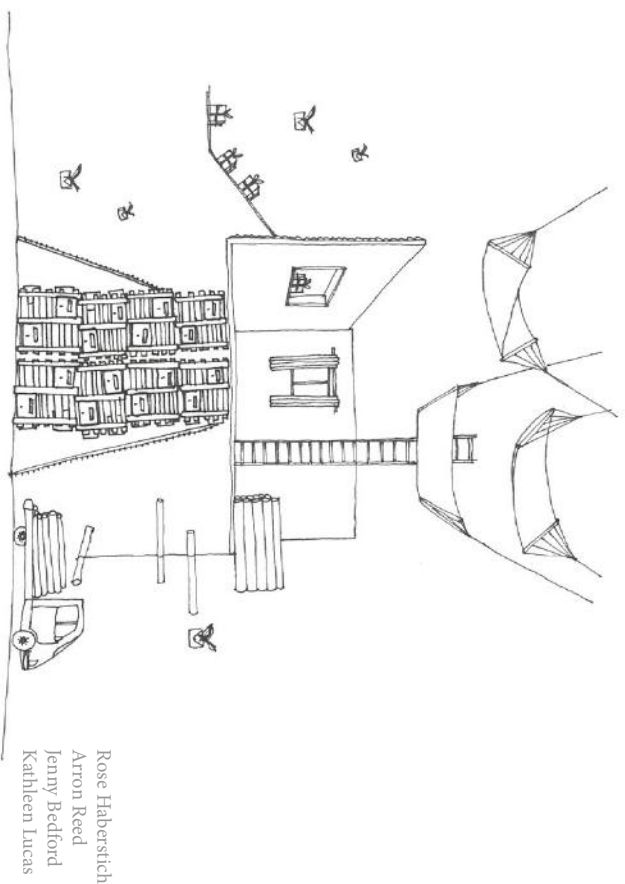
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Prefigurative Architecture

Welcome to all ... before we begin please leave your name and address at the door.



Rose Haberstich
Arron Reed
Jenny Bedford
Kathleen Lucas

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Shaping the Brief

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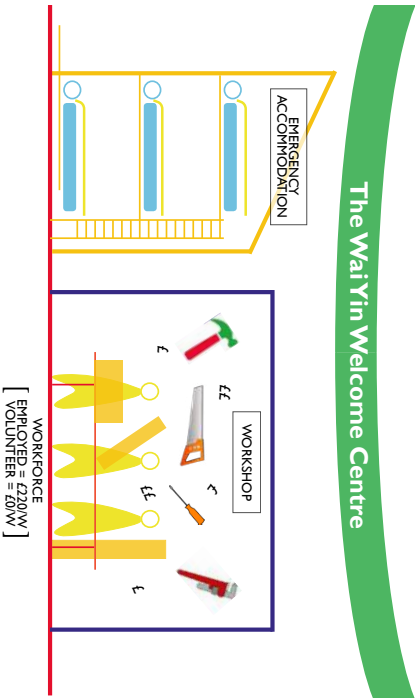
- Material Map
- Emerge
- Material Library
- Construction Guide

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Shaping the Brief

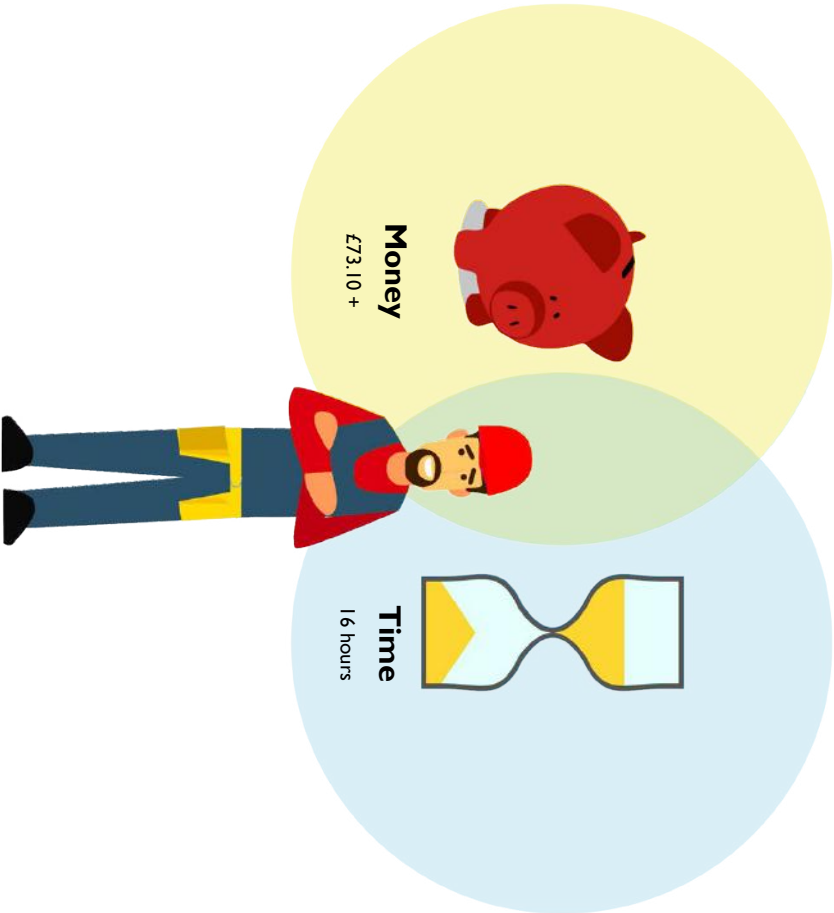


[The Idea]

The Wai Yin Welcome centre in Cheetam Hill has expressed an interest in beginning to provide emergency accommodation for homeless people, the design of which was the initial intention of this project. The accommodation will be built within a workshop located at the Welcome centre.

When considering the practicality of the workshop, we spoke to Collete from North Manchester Work Clubs. She explained her concerns with targeting the voluntary labour required toward people who rely on Job Seekers Allowance. As the individuals need to demonstrate they are looking for work and are available to work in order to be eligible to claim, it was felt that the potential volunteers would not want to risk losing this support by volunteering full time in the workshop. This meant that approximately three full time workers would have to be employed by the centre to make the workshop functional. In order to match the financial provision of Job Seekers Allowance the workshop would have to generate £220/week to pay the wages of the three full time employees.

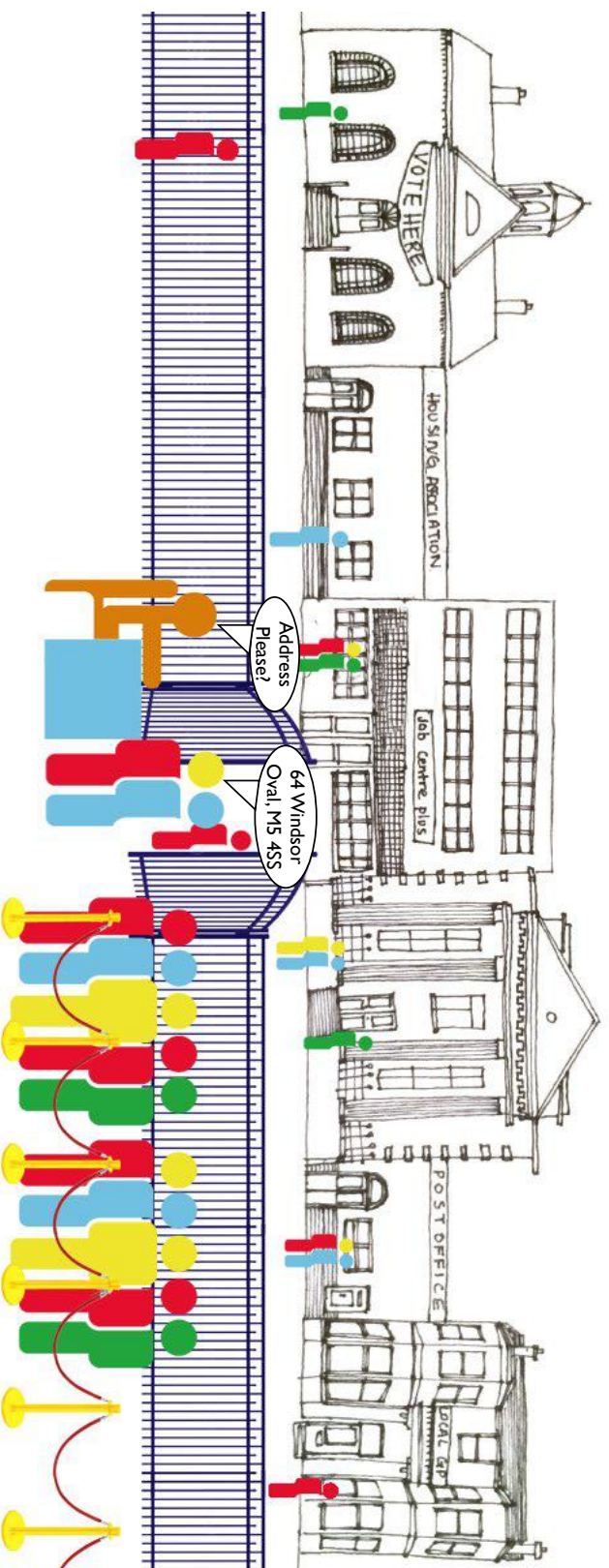
It is very unlikely that the workshop will be able to generate this level of capital on a week-by-week basis and therefore we realised the merits of this project lies in people who are currently unable to claim job seekers allowance. This provided the basis for the brief of the accommodation and the political concepts we were to challenge.



The Current System

[Universal Declaration of Human Rights - Article 25]

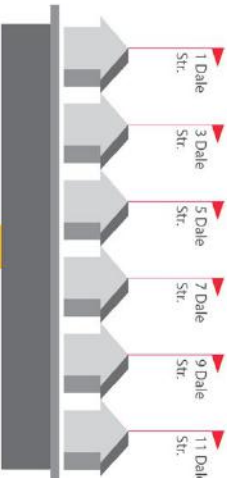
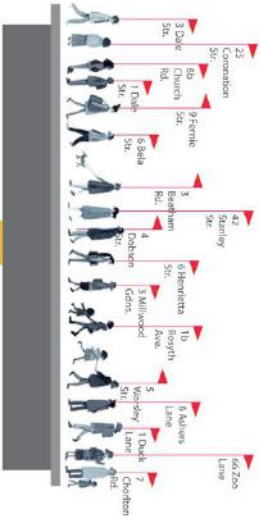
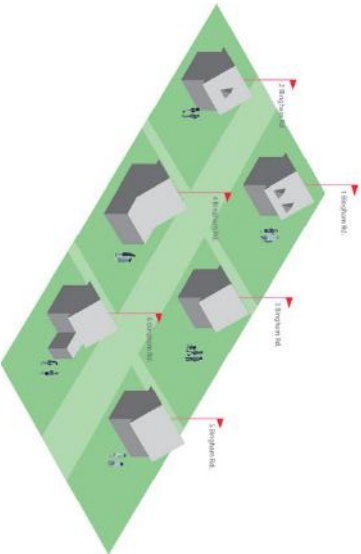
(1) Everyone has the right to a standard of living adequate for the health and well-being of himself and of his family, including food, clothing, housing and medical care and necessary social services, and the right to security in the event of unemployment, sickness, disability, widowhood, old age or other lack of livelihood in circumstances beyond his control. (UN, 1948)



[The Address]

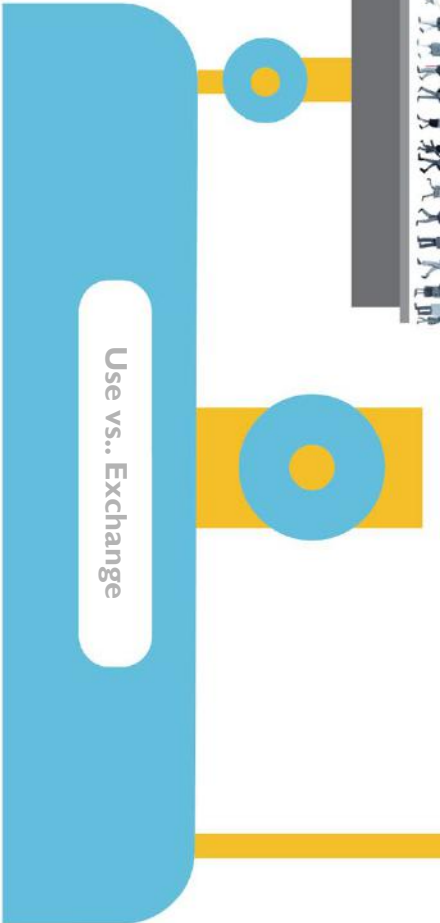
The address in today's society is not simply used to identify where someone resides. The address opens up the possibility to the access of many services including bank accounts, the right to vote, public services and public support. To possess an address, and all that it is worth, currently you must have a property.

The Problem with the System



[commodification of housing]

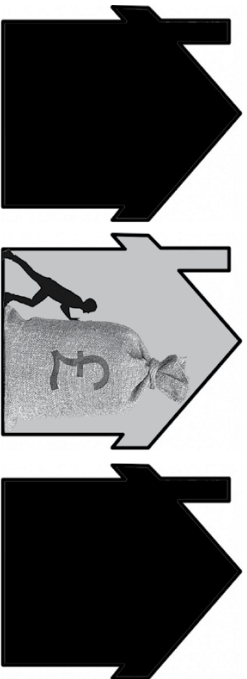
The direct association between property and an address becomes a problem when aligned with the commodification of housing. After research we have concluded that the exchange value of property in today's society far outweighs the value of use. Historically use value was more important as it focuses on our fundamental needs in terms of shelter. However in the UK over the last 40 years there has been a shift in the notion of value of property toward exchange. Due to this, house and rent prices have risen dramatically, and continue to do so, pushing more people into poverty. This problem is mirrored in every other urban corner of the world and so presents us with a global problem.



The Impact of the Problem

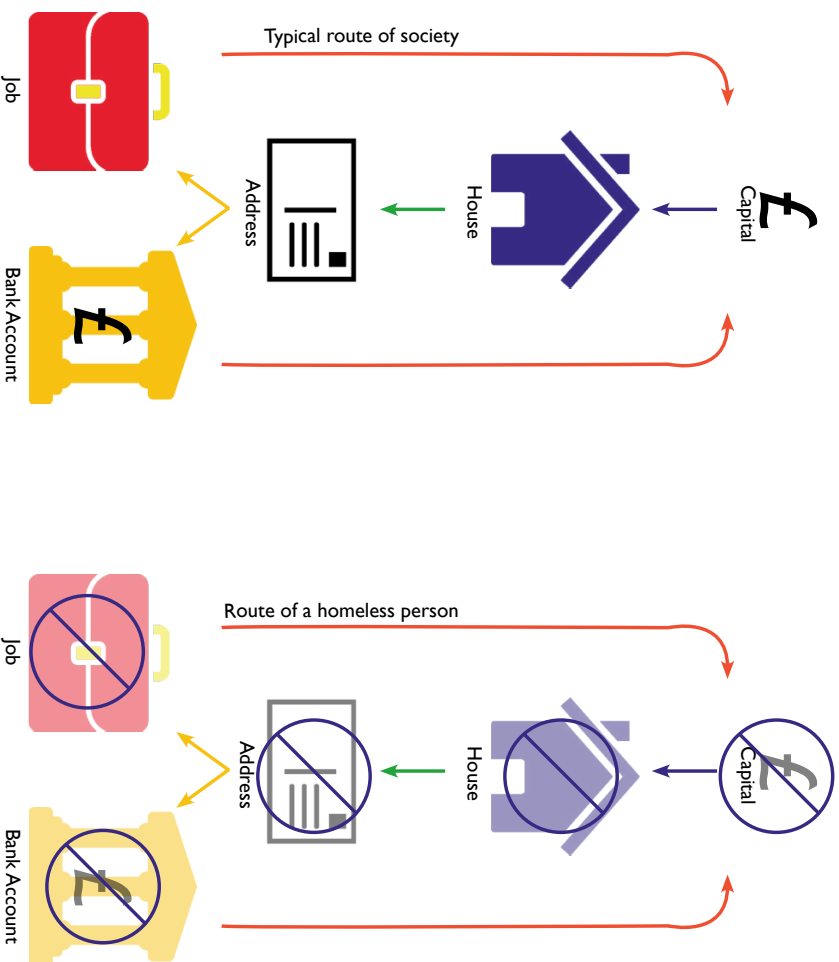
There has been a 6 fold increase in homelessness in the UK since 2010

[Source: Mungos.org (2016)]



[Increased homelessness]

This intensified commodification and crippling house and rent prices are resulting in massive deprivation of the population and an increase in homelessness as people can no longer afford to pay for their shelter. Once an individual is homeless, they no longer possess an address which allows them access to the support framework which forms part of their human right. This is catch 22. The individual finds themselves needing an address to be able to sign up for a bank account, apply for financial support from the state and apply for jobs. However they cannot have an address due to the current link between the address and the ownership of a property which they can't afford. We have found that the longer an individual is homeless the less likely they are to be able to get back on the ladder.



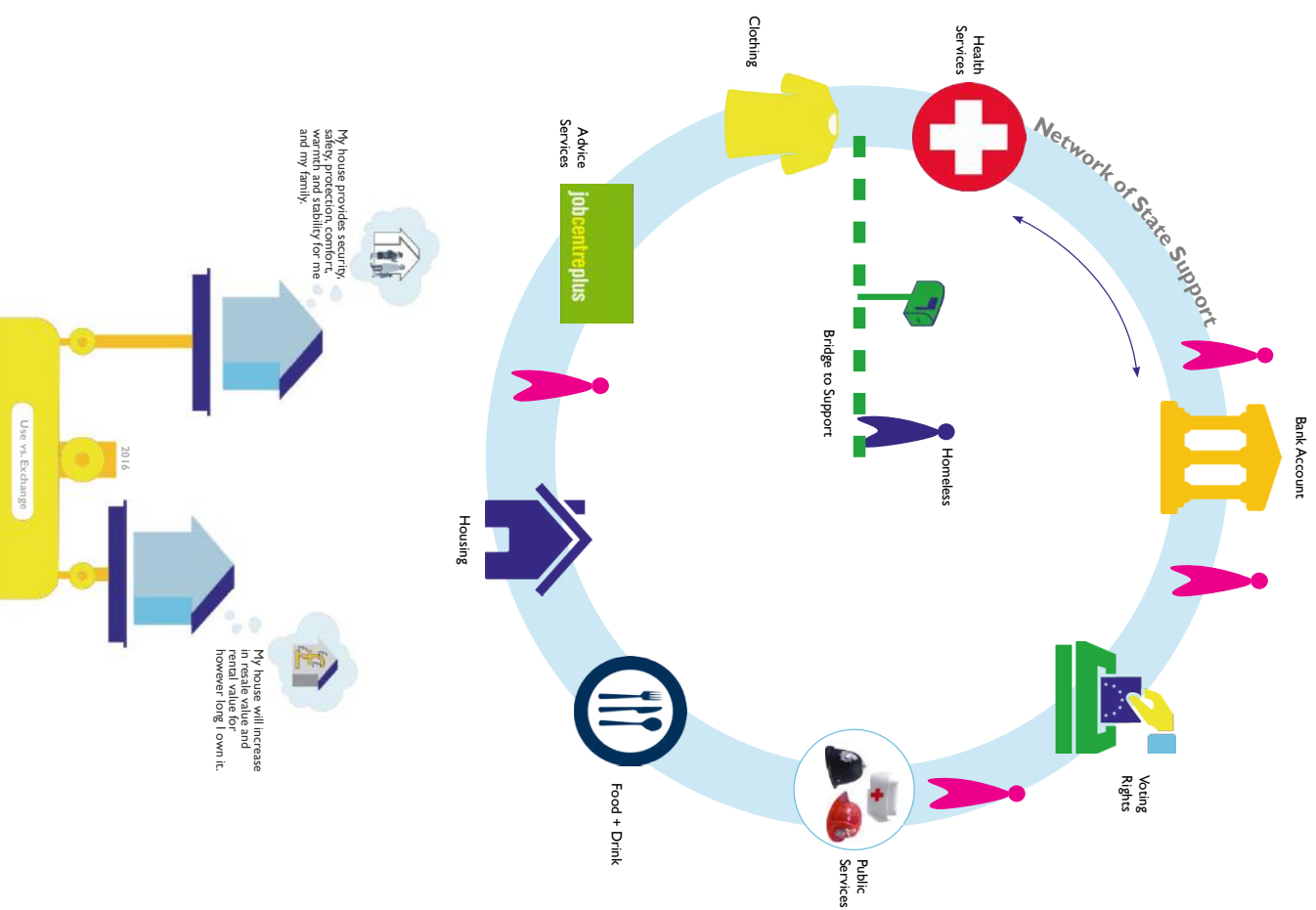
“It’s a catch 22, most of the guys on the street don’t have an address or money and you can’t get a house unless you’ve got a job and you can’t get a job unless you’ve got a house.”

[Source: Cave D (2016)]

Solution

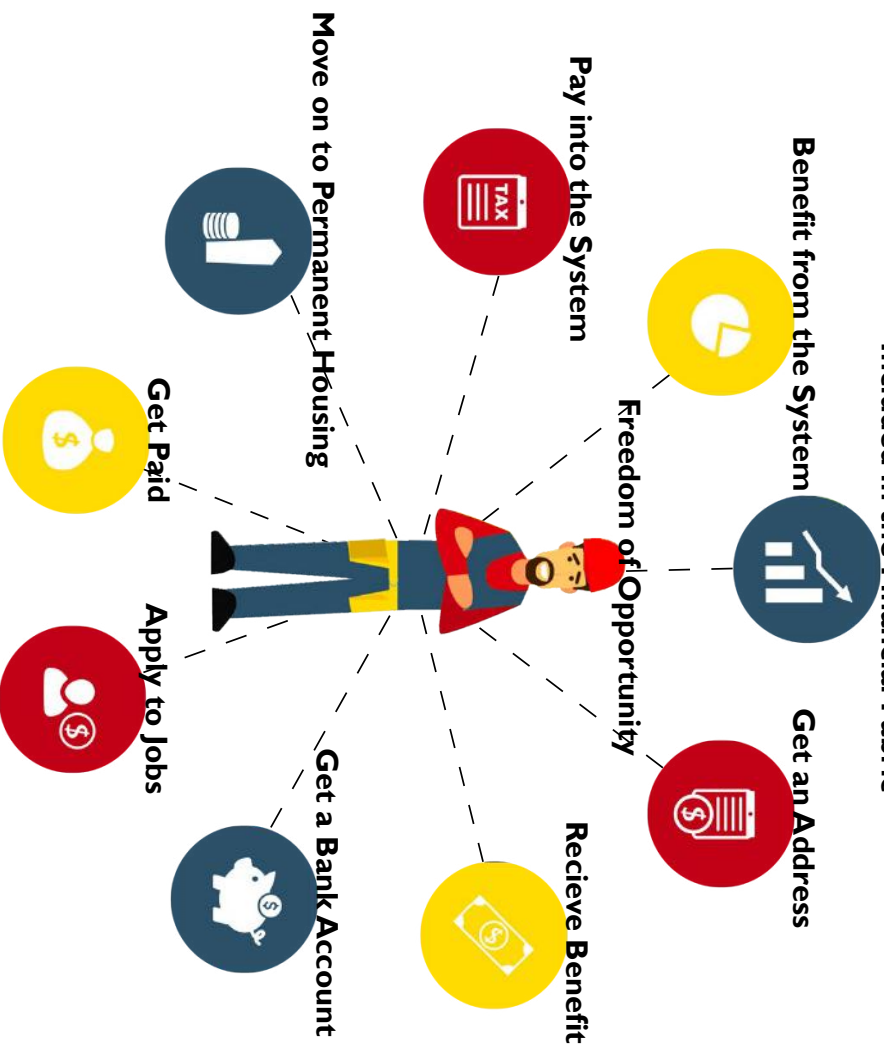
[Providing the bridge]

We believe there is adequate support for the homeless provided by the state, however they cannot access it because the infrastructure to connect them to it is missing. Therefore our intervention primarily is targeted towards providing the bridge that allows access to this support, so that the homeless have the opportunity to get back into the security net. By providing the address in the form of a postbox this removes the need for the individual to own a property to be able to access the support. Once the address is provided the cycle of the catch 22 is broken.



Solution - Narrative

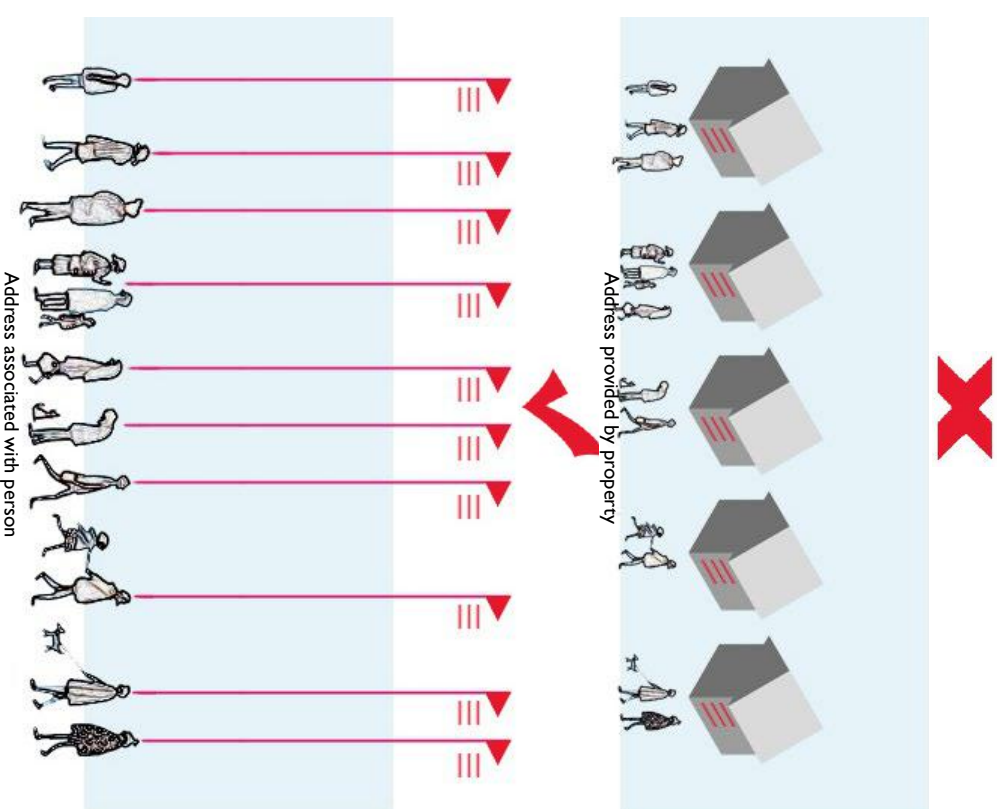
Included in the Financial Fabric



[Narrative]

Our narrative is two fold. Ultimately, we want to disrupt the notion that address is associated with land value and land ownership and associate it with the individual. The address should be an entitlement not a commodity.

However, the narrative is also allowing our targeted audience of unprivileged, homeless people to return to civilisation and give them the capacity (the freedom to choose) to be included within the existing financial fabric.



Decommodifying the Address

Our Intervention will convey theory of decommodification because we are disassociating the concept of having an address with land value and land ownership.

We are saying that all people should be entitled to an address. This means that underprivileged individuals who are the aim of our project have an accessible framework in order to receive other specific rights that they are already entitled to but find it difficult to access.

Legislation



MANCHESTER
CITY COUNCIL



[How to claim]

"Before you start your claim:

You will be asked some questions for more detail about answers you will have already given. There are some personal questions, but this is a 'secure' website: your answers can only be read by staff dealing with your claim.

We will need to ask you some details about your circumstances and so you may need to have some personal documents to hand. If you have a partner you will require their documents too. Documents you may need include:

- wage slips
- **bank statements**
- details of any benefits and/or tax credits you may be in receipt of
- your National Insurance number
- **your tenancy agreement**
- self employed accounts

Now press 'Next' below to start your claim."

[Nationwide need]

Proof of Identity: - You might already have ID?

- You can apply for but will delay the process of your application for housing.

Proof of Address: - Letter from a university or college.
(With a partnership of UoM and Catch 22, could this be possible?)

- Tenancy agreement from a housing association or a council.

(Catch 22 has potential to partner with established housing association such as Northwards Housing)

- UK council letter (must be less than 12 months old)
(right to vote)

[National Insurance Number]

- You might already have one?

- You can apply for but will delay the process of your application for housing.

With a selection of the following

-passport or identity card

-residence permit

-birth or adoption certificate

-marriage or civil partnership certificate

-driving licence



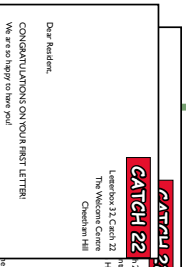
Catch 22, with a Partnership from Northwards or the University of Manchester register as a housing association.
After the 'resident' is accepted, a letter is sent to them stating their terms and conditions and requesting a signature.
A confirmation letter congratulating them on their new residency!

[Conclusion]

The simplest solution might be to set up a contract for those to use who they are issued with a postbox. The format of this can be a resident permit issued by a company who has established a relationship with the project.

The best case scenario for this would be a housing association who acknowledges the project as beneficial to the system, otherwise an agreement can be established within the university.

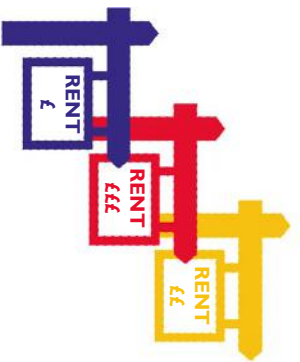
The contract can state the rent of this space (the letterbox) and the terms of use for it.



The Living Home Standard

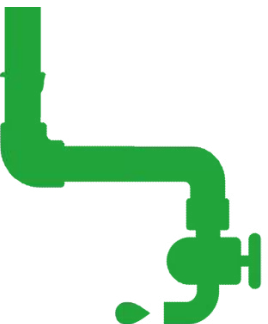
42% of homes in Britain don't meet the Living Home Standard

(Source, Shelter 2016)



[affordability]

As more people are unable to buy their own property due to increased house prices, the amount of people renting increases. As local authorities have sold off their properties more people are pushed into private renting. Due to the increase in demand private landlords can push rent prices high.



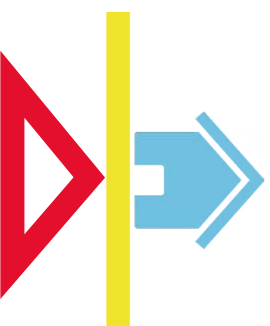
[decent condition]

Due to the large demand landlords can let standards slip in houses because, due to the high demand, there will be someone else willing to take the property if the standards don't meet your standards.



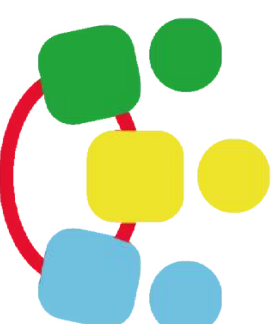
[space]

High rental prices are causing overcrowding as people share to be able to afford accommodation.



[stability]

Stability is low in private rented accommodation as landlords have the power to not extend contracts which are usually signed annually, resulting in people living in private rented accommodation living in their houses for on average 6 years less than socially rented accommodation.



[neighbourhood]

The lack of stability in private rented accommodation causes people to move around more which results in a community that is constantly changing, resulting in less community spirit.

Intervention



[the address]

The project begins with the postbox, the political statement depicting how policy has reduced someone in their moment of crisis to nothing more than an address. We have abstracted this to show that all is needed is a post box.



[the accommodation]

The project also provides emergency accommodation. These are not permanent spaces but provide relief for any body in desperate need. There are 8 sleeping spaces available and it is estimated that there will be a 3 month cycle of users.



[the workshop]

In the volunteers work to up-cycle furniture which is sold to generate capital for the project. They also develop household items which they can later take with them to make their house a home. The skills they learn in the workshop will also contribute to their CV and hopefully aid in getting them a job.

The Address

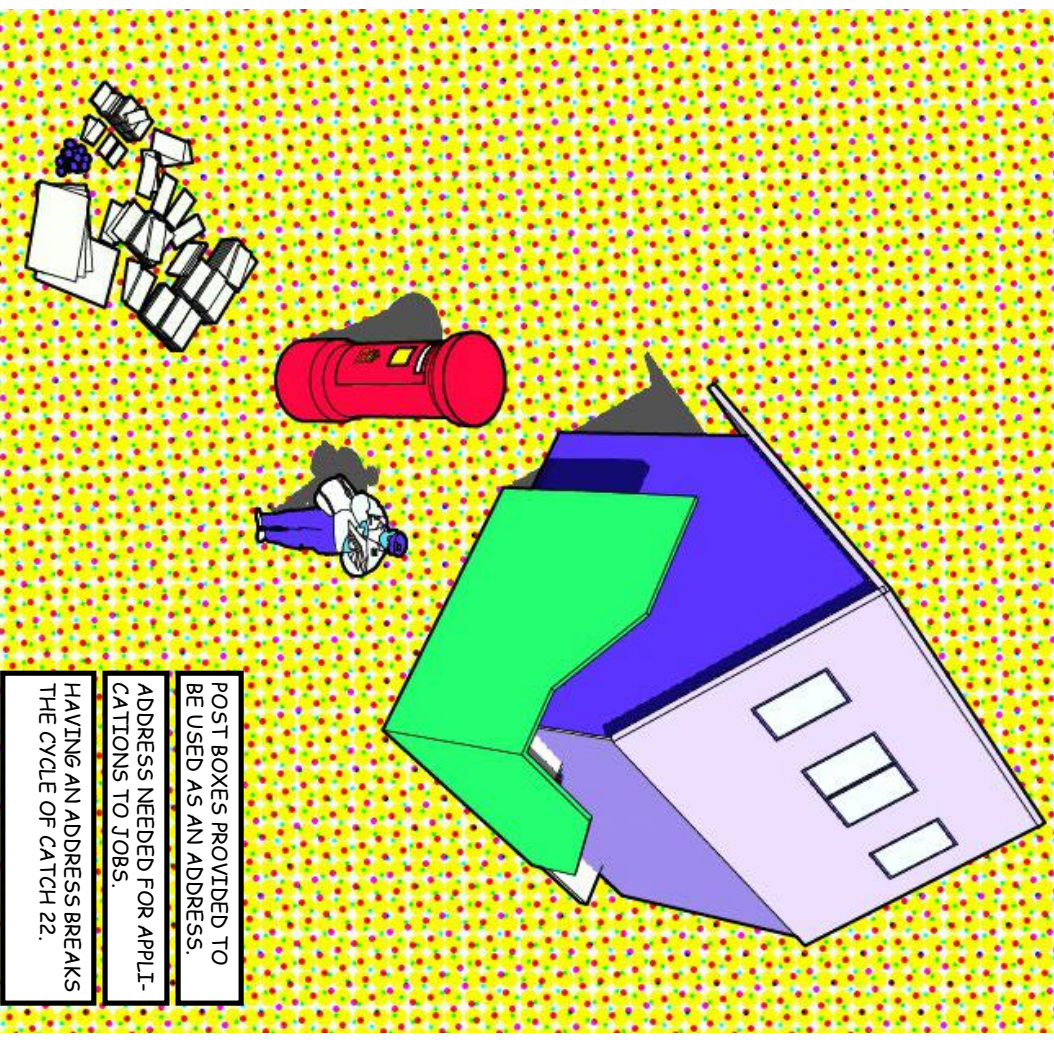
- Postbox as infrastructure to provision of address
- Estimated 3 month duration per user
- Address is essential for job applications, support applications, GP services, voting card
- Political statement of dissemination of the address

[the postbox]

The address has been highlighted as the critical infrastructure an individual needs to exercise their right to services. Individuals will be encouraged to sign-up for a postbox which they can use as a registered address for the duration they require it, however the estimated time frame is approximately 3 months. The address will allow the individual the opportunity to apply for jobs, make benefit applications, attend a GP if required, etc. and ultimately will help the homeless, who have fallen off the security net due to their lack of address, the opportunity to get back on it.

CATCH 22

CONSTRUCTION MANUAL - THE POSTBOXES



The Accommodation

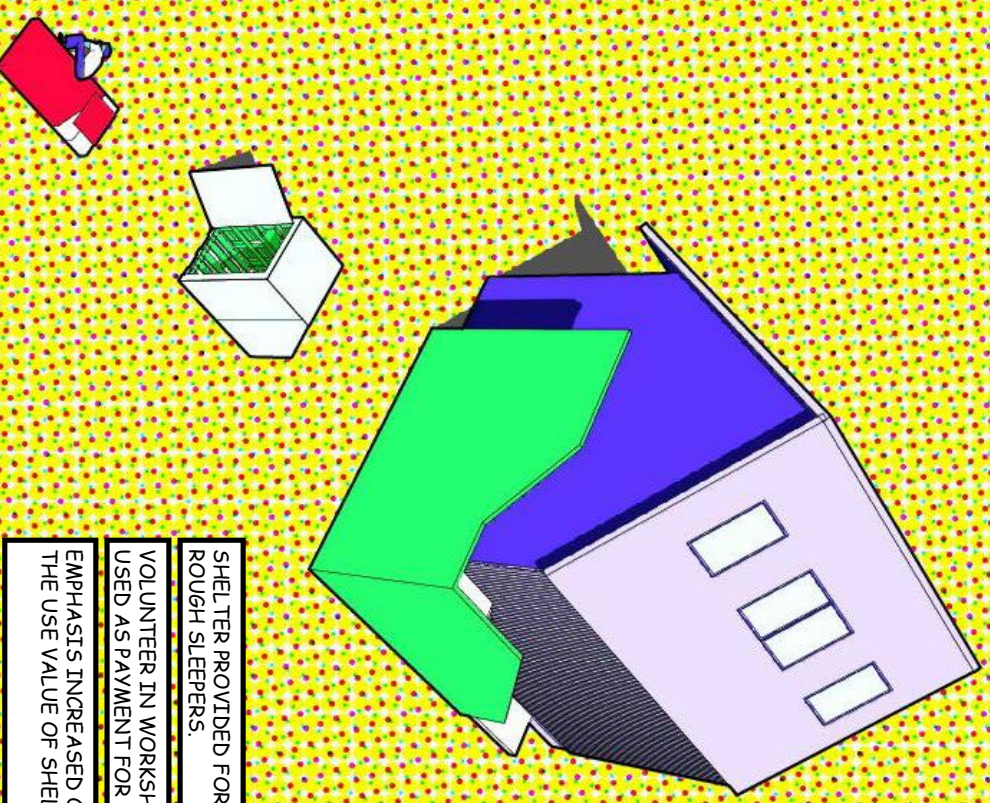
- Temporary accommodation for homeless if required (8 spaces available)
- Estimated 3 month duration per user
- Volunteer in workshop as payment for service
- Marcuse – deaccommodation of housing

[emergency beds]

The intervention offers homeless people the opportunity of somewhere to sleep. The emergency accommodation runs alongside the provision of the address and is offered on a temporary basis. We estimate that the average length of stay will be 3 months as this is approximately the time taken for applications for social support to become accepted/work to be found. The homeless individuals will live rent free, however will be expected to volunteer on-site throughout the duration of their stay. The individuals will have their own bed pods, of which 8 are available, and will share communal space.

CATCH 22

CONSTRUCTION MANUAL - THE SLEEPING POD



SHELTER PROVIDED FOR
ROUGH SLEEPERS.

VOLUNTEER IN WORKSHOP
USED AS PAYMENT FOR RENT

EMPHASIS INCREASED ON
THE USE VALUE OF SHELTER

The Workshop - Product

- Up-cycle furniture to generate capital which is pushed back into the programme
- Build accommodation
- Gift produced by volunteers
- Contains curtains, furniture, household items, etc.
- Decommodification

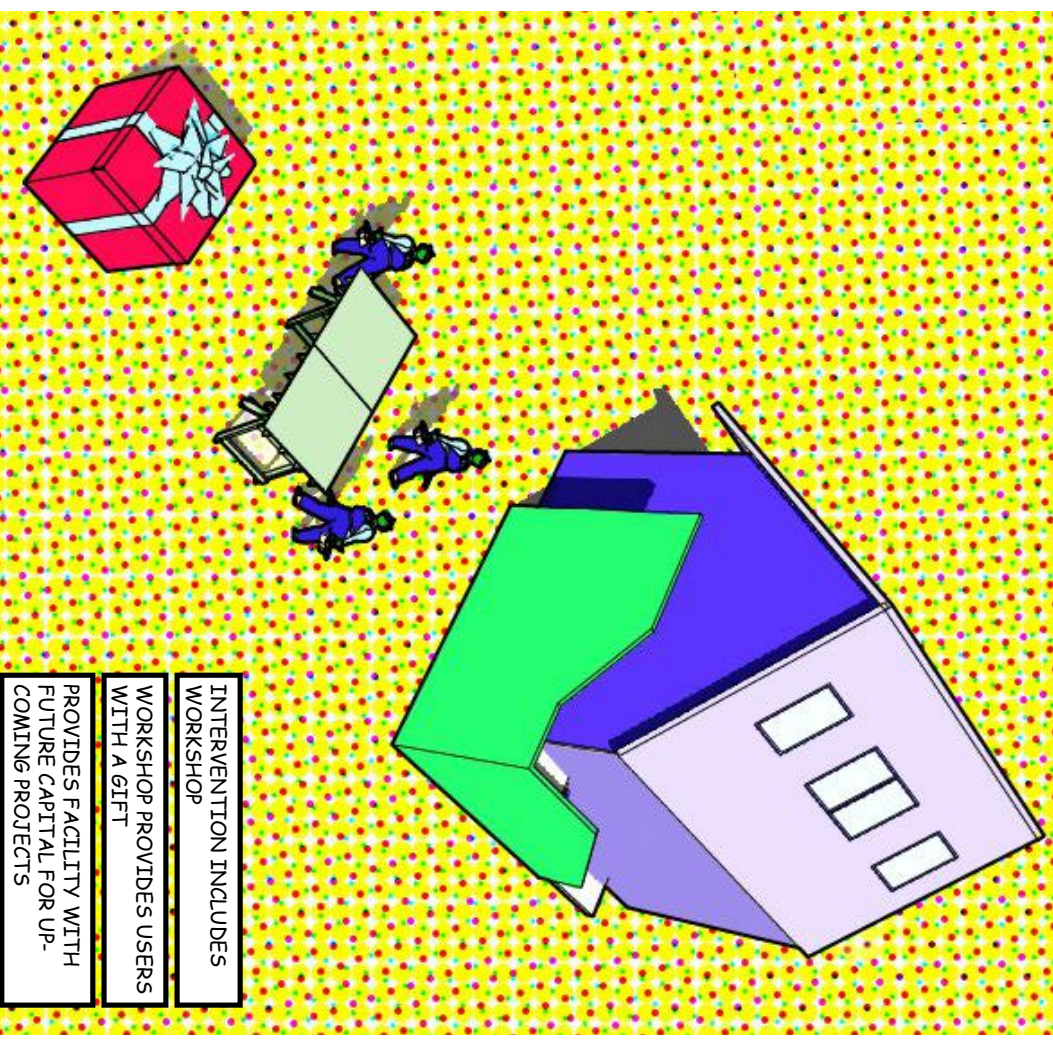
[Gift + up-cycling]

The volunteers will work in the workshop for the duration of their use of the facilities. In the workshop furniture will be up-cycled and the accommodation and sleeping pods will be constructed. As the project expands on to other sites, the modular panels will continue to be built within the workshop and then transported out.

The volunteers will also work on producing everyday household items which they will take with them once they leave the programme. The gift will potentially include curtains, bedding, furniture and other household items.

CATCH 22

CONSTRUCTION MANUAL - THE UP-CYCLED GIFT



INTERVENTION INCLUDES
WORKSHOP

WORKSHOP PROVIDES USERS
WITH A GIFT

PROVIDES FACILITY WITH
FUTURE CAPITAL FOR UP-
COMING PROJECTS

The Workshop - Skills

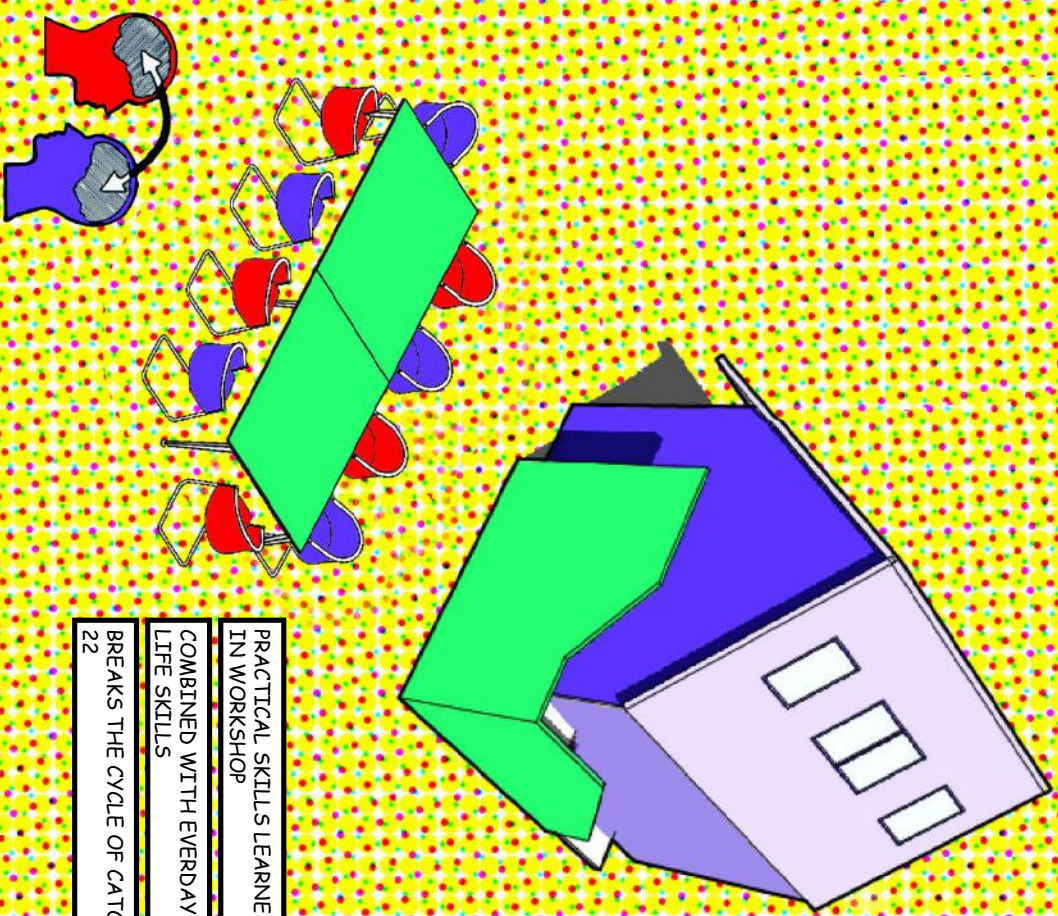
- Learn skills to improve CV + chance of getting work
- Develop relationships with other volunteers making this a partially social practice
- Dissemination of knowledge

[knowledge]

One of the aims of the workshop is to provide the volunteers with skills which will strengthen their CV. This will then hopefully aid in getting them a job once they have left the programme, allowing them to rely less on social financial support. This workshop and learning faculty within the proposal enhances the community environment and morale which will increase productivity in a positive dynamic.

CATCH 22

CONSTRUCTION MANUAL - LEARNING SKILLS

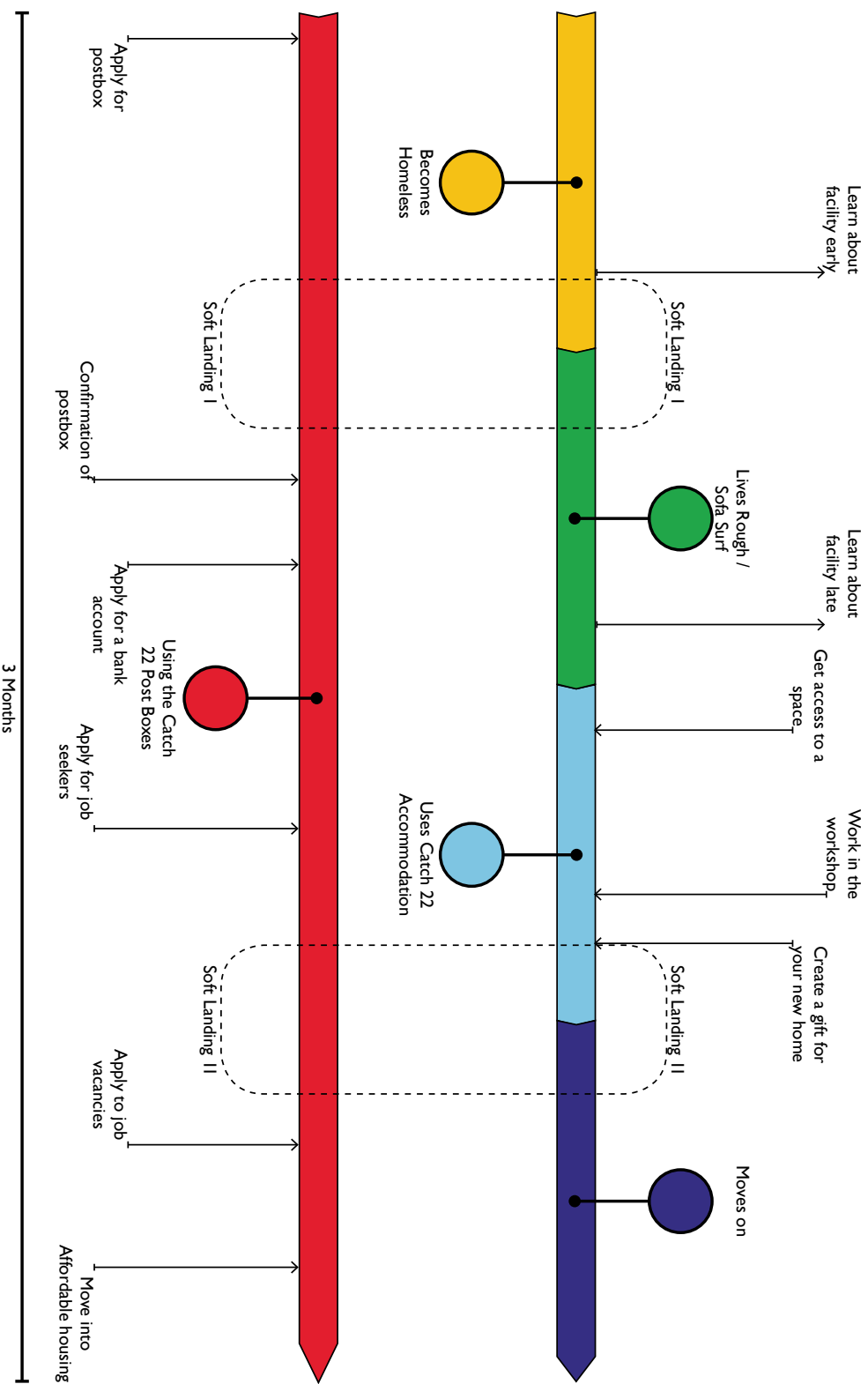


PRACTICAL SKILLS LEARNED
IN WORKSHOP

COMBINED WITH EVERDAY
LIFE SKILLS

BREAKS THE CYCLE OF CATCH
22

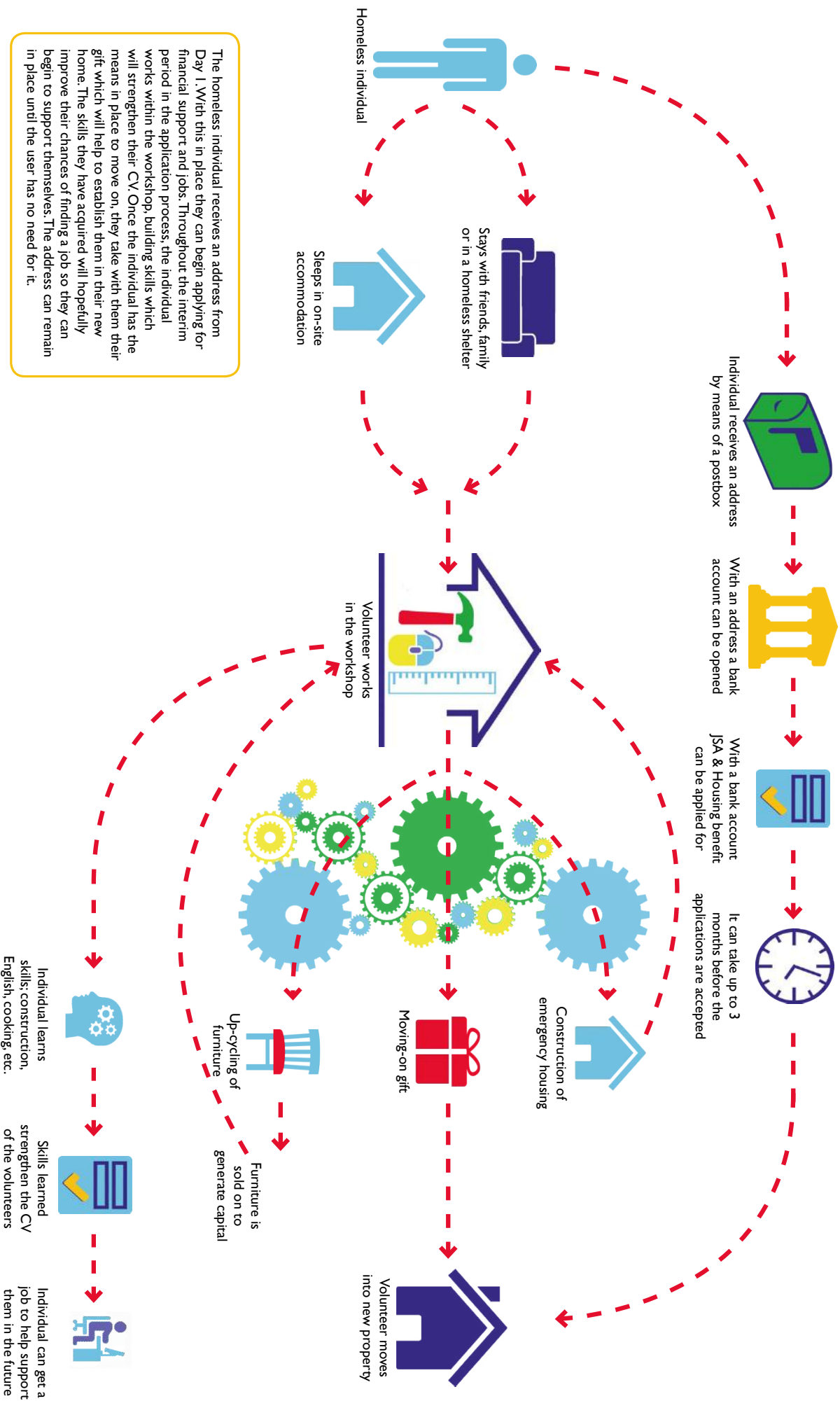
Time-scales



[Time-line]

The time-line depicts postboxes as a constant facility in comparison with a homeless person's time of events. Soft landings show that although developments of progression is halted, usage of postboxes remain.

Concept

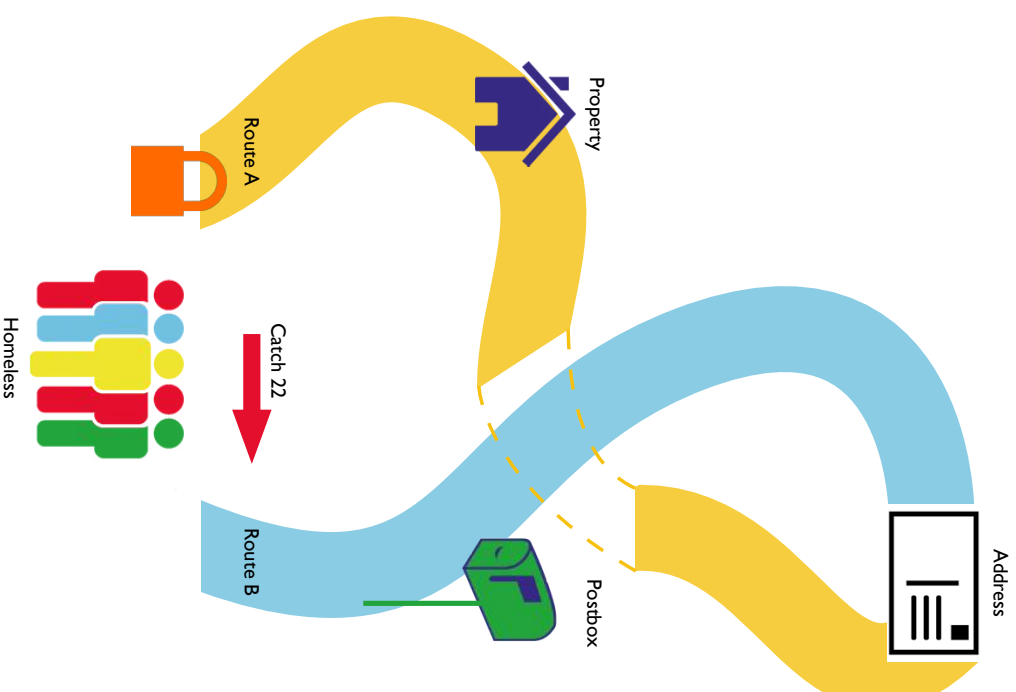


The Prefiguration of Catch 22

[the address is political]

By challenging policy, which homogenises the address and property into one entity, and suggesting an alternative route, the intervention disrupts the traditional order as it seeks to solve a spatial problem using architecture as a political agenda. The dissemination of the address fractures the link between property and address and proposed a critique of the commodification of housing in the UK. The intervention proposes that due to the gentrification and commodification of housing, society has lost its basic right to housing which has resulted in peaks in homelessness. The intervention seeks to support the individuals that have fallen off the security net with new infrastructure which emphasises everyone's entitlement to basic rights independent of their social standing.

The project also looks to decommodify the construction process through the use of free recycled materials, the collaboration with local businesses and the homeless volunteer workforce. The dissemination of knowledge within the workshop allows the volunteers the opportunity to help themselves rather than waiting and relying on official help. This passing down of knowledge reduces the power the 'elite' have on society and by doing so the individuals begin to claim back their right to the city. The provision of the gift is also a decommodified act as individuals have the opportunity to improve their standard of living by trading their time and service as opposed to capital.

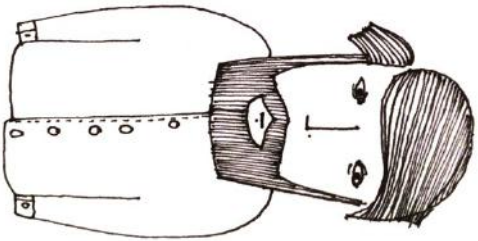


Profiles

The profiles below are based on a report investigating the experiences of single homelessness in England. (Reeve, 2011)

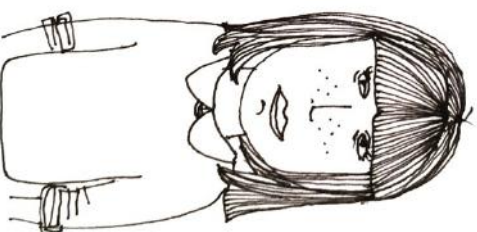
[Michael]

Separates from partner and becomes homeless
Couch-surfing with friends who are drug users (loses job)
Hostel (claims JSA, gets job back, applies for transitional housing)



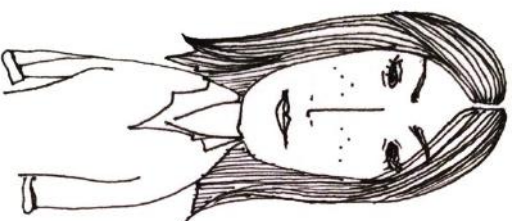
[Emma]

Living in mum and step-dad (age 15)
Women's refuge (1 month)
Council Tenancy (few months)
Couch Surfing and caravan in garden (1 year)
Private rented flat with partner (6 years)
Women's refuge (1 month)
Couch Surfing / squatting (5 months)
Tent / Rough Sleeping (few weeks)



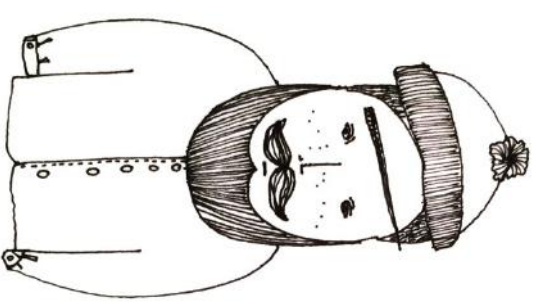
[Nancy]

Living in council house (10 years)
Couch-surfs with Brother (2 years)
Couch-surfs with Friends/Family whilst occasionally sleeping rough (2.5 years)
Squats (few months)
Sleeps in a tent
Moves between couch surfing and rough sleeping (1 year)



[Jason]

Both parents pass away (Age 14)
Foster care (1 year)
Couch-surfs - goes to LA but they can't help as he is in the care of the social services
Rough Sleeping
B&B c/o social services (6 weeks)
Sleeping in tent (18 months)
Meets hostel-worker in Hospital waiting area keeping warm.
Hostel (2 years)
Sofa surfs / rough sleeping

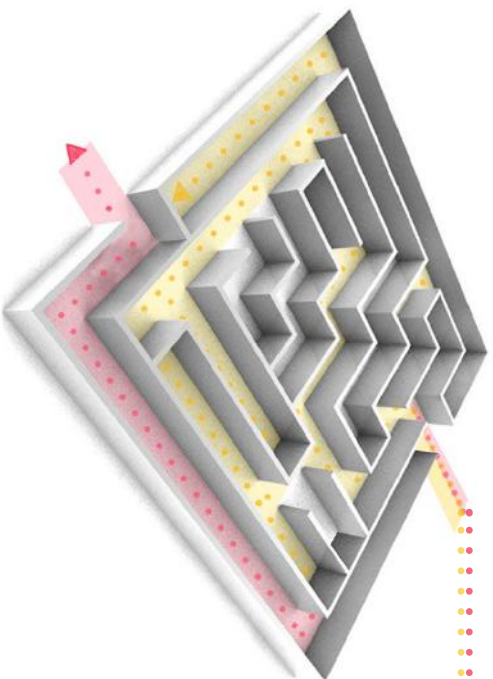


Quick Re-homing

In all four cases, the interviewees have spent a period of time where they have not had an address and continually searched for stable accommodation.

In Michael's case, he found support from the hostel where he stayed. This support enabled Michael to gain employment, access his right to financial benefits from the government and begin his application to be re-homed.

We believe that this was achieved due to the short time that Michael remained on the street, as well as the support and stability accessed through the hostel where he was staying.

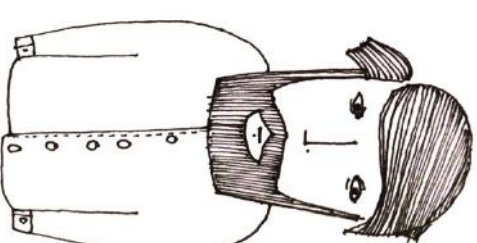


In the cases of Emma, Nancy and Jason, their maintained invisibility is their barrier to accessing the system.

[Michael]

Quick re-homing!

Now claims JSA, works, and has home



[Emma]

1.5 years

6 years rented

7 months



[Nancy]

4.6 years



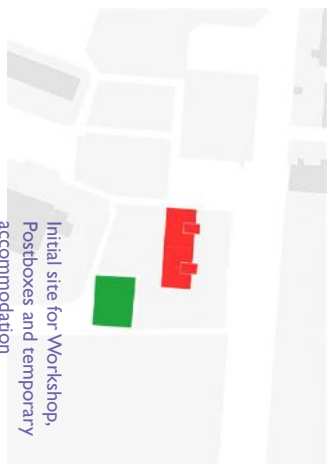
[Jason]

4.5 years

Providing Infrastructure

The Living Home Standard states that an essential attribute of Neighbourhood is to feel reasonably safe and secure in the local neighbourhood.

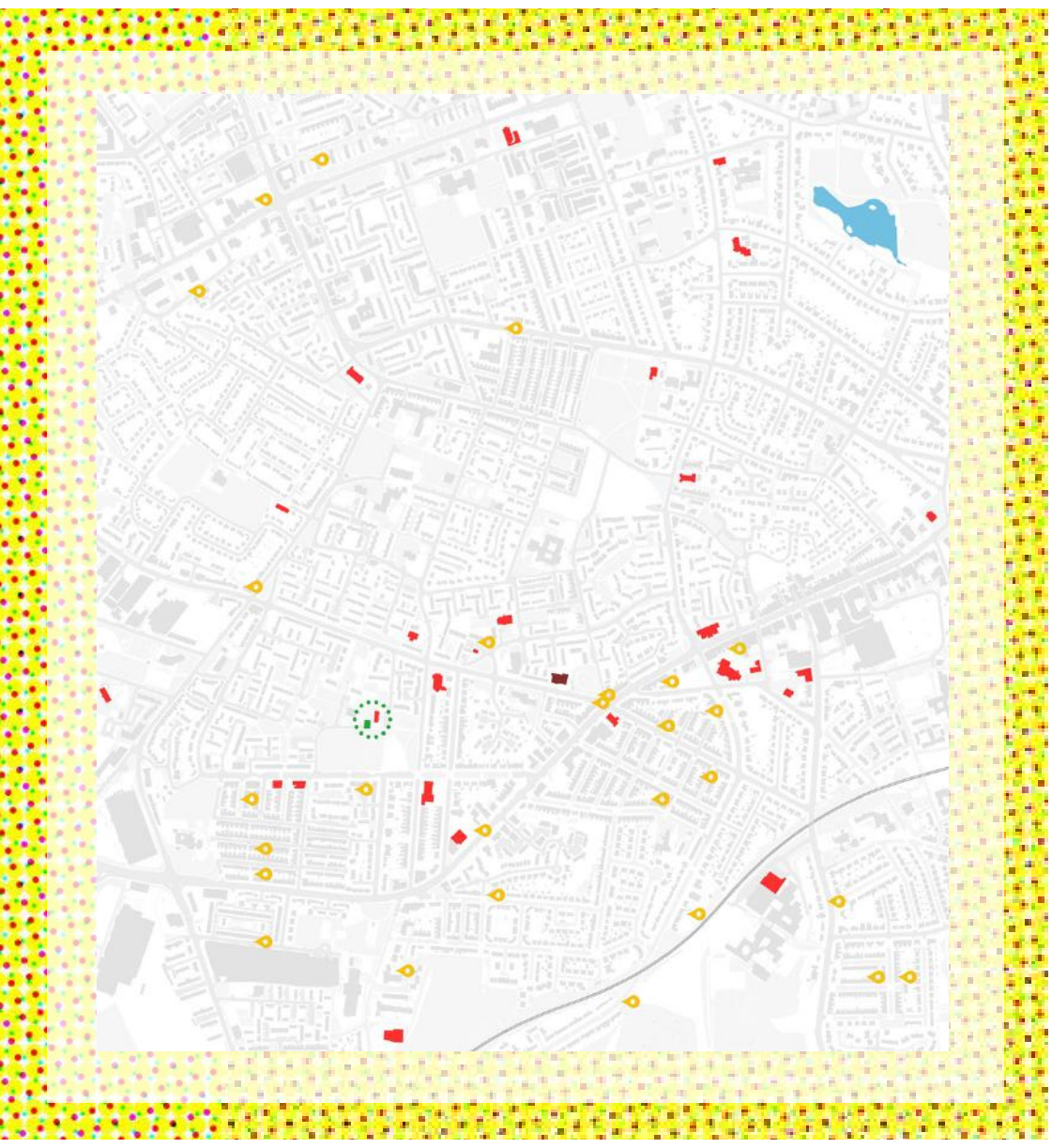
Wai Yin Welcome Centre,



[support network]

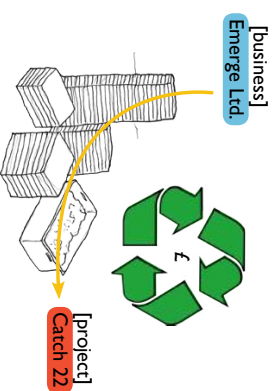
This map outlines some examples of where the community may come together to gain support from advisors and like minded people. The buildings highlighted in red are buildings that represent certain social groups, such as places of worship, job centres, welcome centres and advice centres. However it is clear that within the area that has been defined, the majority of the social net lies in places of worship.

In initial investigations there appears to be 5 learning centres in the immediate area, and 6 Libraries.



Finance

The project works on a not-for-profit basis and acts to decommodify housing and services.



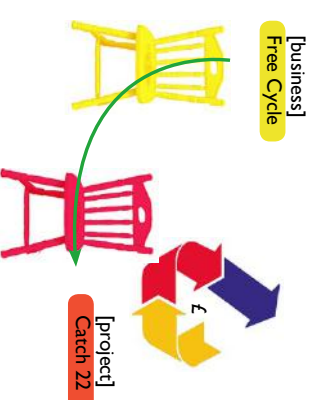
[recycled materials]

A large proportion of the materials required for the intervention will be recycled materials, which have been donated/collected from collaborators, businesses and individuals, for free therefore construction costs will be negligible.



[volunteers]

The individuals using the services Catch 22 provide will work in the workshop on a voluntary basis as payment. This method of service exchange decommodifies the intervention.



[up-cycle]

Within the workshop the volunteers will up-cycle furniture which they will be able to sell. The capital generated from the sales of the products will be pumped back into Catch 22 to buy materials, tools, etc. which cannot be obtained for free.

User Requirements

Fundamental Requirements

Shelter away from the elements	Postbox	Workshop	
Safe	Identity	Skills exchange	
Secure	Aim / Optimism	Support	
		Connect	

Secondary Requirements

Private Space	Gift
Safe Sleeping Area	Start up
Storage facility	Individuality
Wash facility	Creativity
Congregat	Aspiration

From our research we have established fundamental and secondary requirements which defined the framework in the design process.
The requirements could be split into two stages of the program and so shaped the layout of the intervention clearly.

Construction Manual

Material Map

25

Emerge

26

Material Library

27

Paper Bricks

Timber Boarding

Cans/Tins

Pallets

Composite Panel

Rubble

Raw Materials

Construction Guide

35

Wall section

Bed Pod

Roof

Flexible Design

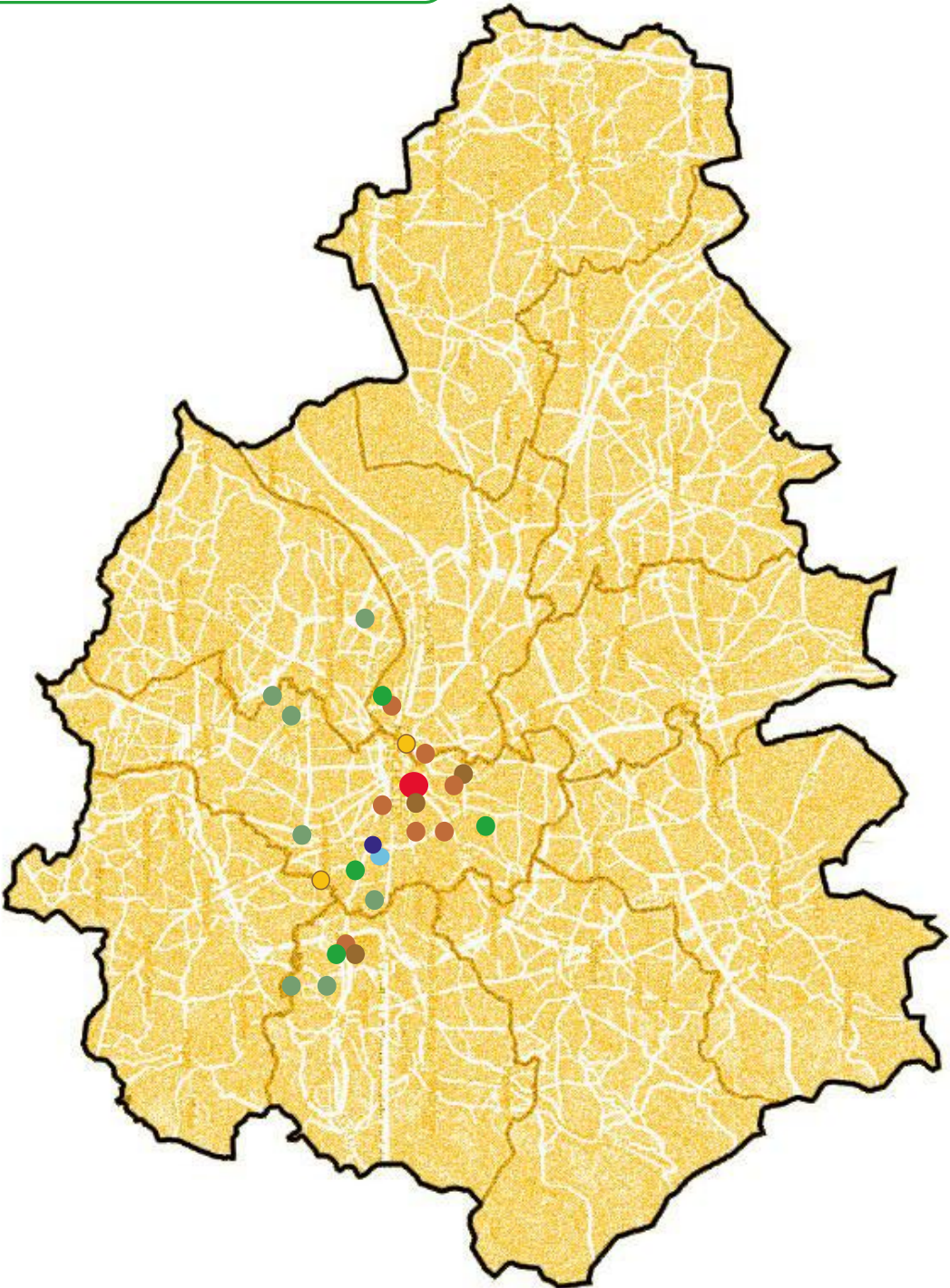
Material Map

Material Source Locations

- Welcome Centre
- Emerge
- Rubble
- Pallet
- Paper
- Tires
- Plastic Bottles / Cans

Material Collaborator

- Emerge
- SD Waste Paper Centre
- Manchester Plastic
- EMR Manchester
- Howarth Metals Ltd
- Fast Forward Recycling Ltd
- Viridor Waste Greater Manchester
- Go Green Vehicle Recycling
- Sternberg B & Sons (Textiles) Ltd
- Visage Textiles Ltd.



Emerge, Manchester

Receiving various materials from one main partner will reduce logistical and organisational cost, it also simplifies pricing and provides us with a guaranteed material flow all year around.

Why Emerge?

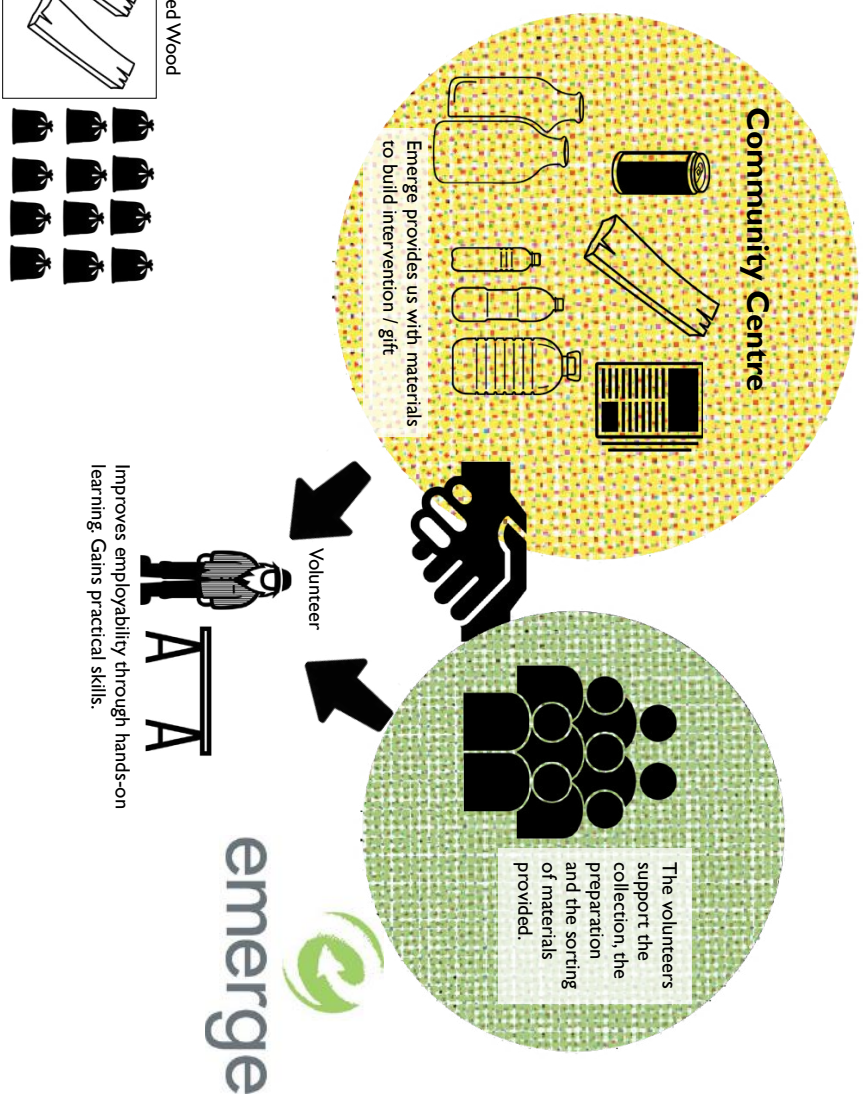
With Emerge we found a collaborator who can not only provide us with an multitude of various materials but they also run their recycling business with a strong ethical ethos towards the environment and people.

The '3Rs' (Reduce, Reuse and Recycle) of sustainable resource and waste management are at the heart of everything they do which we strongly agree with.

What are we getting from Emerge

By gaining a close relationship with Emerge we guarantee a consistent material flow for our workshop and by engaging volunteers with emerge they will gain skills and so develop better work opportunities.

Relationship with Emerge



Paper bricks

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M1 1 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties

- ☐ Brittle
- ☒ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☒ Modular

Other

- ☐ Flammable
- ☒ Thermally Insulating
- ☒ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☐ High embodied energy
- ☐ Conductivity

Material Dimensions per unit:

Weight: :2kg
Dimensions: 300 x 140 x 70
Approx Load Capacity: unknown

Amount Available:

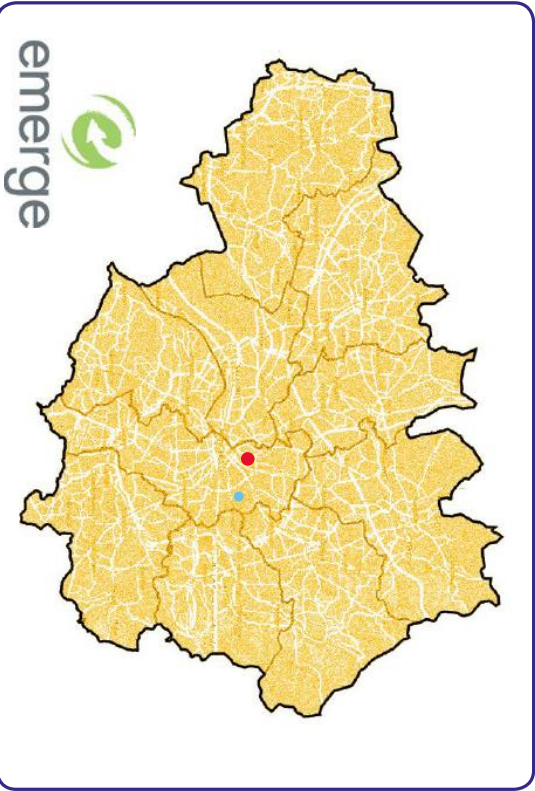
>4kg

Amount Required per unit:

4000

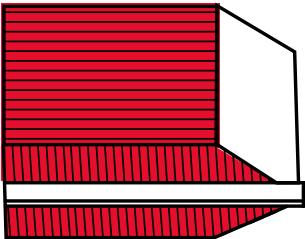
Temporal Sequence:

Weekly



Material Application:

- ☒ Structure
- ☐ Foundation
- ☐ Flooring
- ☒ Insulation
- ☐ Cladding - Roof
- ☐ Cladding - Wall
- ☐ Post Box



Precedent

Paper House by Ben and Daniel Dratz

Matus,M. (2012) Dratz&Dratz Unveil Office Made From Recycled Paper in Essen, Germany. Available at <http://inhabitat.com/dratzdratz-unveil-workspace-made-from-recycled-paper-in-essen-germany/> (Accessed: 29.11.2016)

Paper bricks

Process of Material Manipulation



Murramumma (2011) Reduce, Reuse, Recycle - Paper-bricks. Available at: <http://murramumma.blogspot.co.uk/2011/11/reduce-reuse-recycle-paper-bricks.html> (Accessed: 29.11.16)

Material Manipulation

Materials Required:

- Paper
- Concrete
- Water

Skill Level Required

- High
- Medium
- Low

Time Taken to Produce

3 days

Tools Required

Paper Bricket Maker



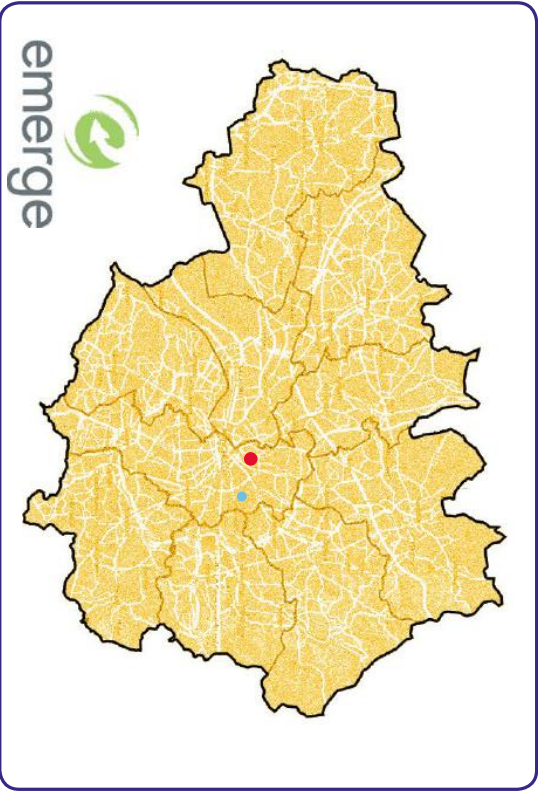
Shopick (2016) Paper Log Maker. Available at: <https://shopick.co.uk/paper-log-maker> (Accessed: 29.11.16)

Timber Boarding

Main Material Collaborator
Address:
 Emerge
 Whitworth Street East, Manchester
 M1 1 2WJ
Tel. No:
 0161 2238200
Contact:
 Gareth Jones

Material Properties
 Mechanical Properties
 Brittle
 Compressive Strength
 Tensile Strength
 Hardness
 Stiffness
 Modular
 Other
 Flammable
 Thermally Insulating
 Acoustically Insulating
 Corrosive
 Magnetic
 High embodied energy
 Conductivity

Material Dimensions per unit:
 Weight: miscellaneous
 Dimensions: miscellaneous
 Approx Load Capacity:
 miscellaneous
Amount Available:
 > 1 5m³
Amount Required per unit:
 1 20m²
Temporal Sequence:
 Tbc



Material Manipulation
Materials Required:
 Wood
 Nails
 Varnish
Tools Required
 Hammer
 Saw
 Sandpaper

Skill Level Required
 High
 Medium
 Low
Estimated Duration of Production
 2 days

Material Application:
 Structure
 Foundation
 Flooring
 Insulation
 Cladding - Roof
 Cladding - Wall
 Post Box



admin (2015) Pallet Deck. Available at: <http://www.101palletideas.com/pallet-deck-construction/> (Accessed: 19.11.2016)

Cans / Tins

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M1 1 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties:

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☐ Modular

Other:

- ☐ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☐ High embodied energy/
- ☐ Conductive

Material Dimensions per unit:

Weight: 16g
Dimensions: 55 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:

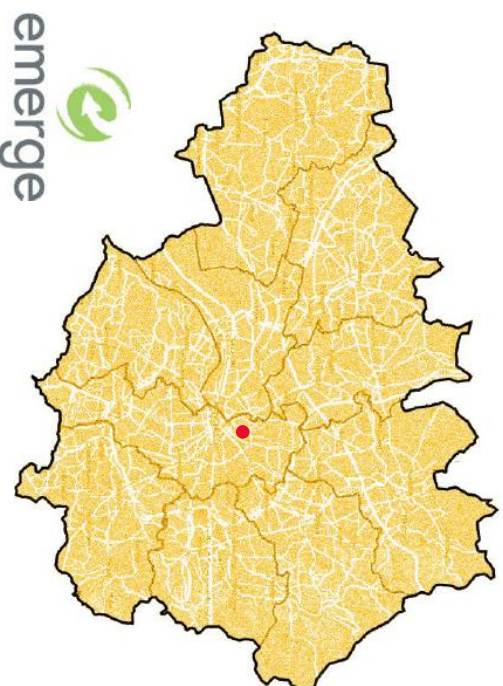
Tbc

Amount Required per unit:

2500

Temporal Sequence:

Weekly



Material Manipulation

Materials Required:

Cans
Nails
Water

Tools Required

Hammer
Drill
Can press

Skill Level Required

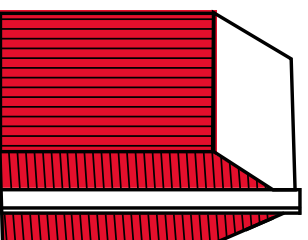
- ☐ High
- ☐ Medium
- ☐ Low

Estimated Duration of Production

2 days

Material Application:

- ☐ Structure
- ☐ Foundation
- ☐ Flooring
- ☐ Insulation
- ☐ Cladding - Roof
- ☐ Cladding - Wall
- ☐ Post Box



Precedent
The Can House, Silverspring by Richard Van Os Keuls



EcoArtware (2004) A Can-Do House: A New Twist to Aluminium Siding . Available at: http://www.eco-artware.com/newsletter/newsletter_05_04.php (Accessed 29.11.2016)

Pallets

Main Material Collaborator

Address:

Welcome Centre,
Cheetam Hill, Manchester
M8 0 TW

Tel No:

0161 792 9760

Contact:

Mark

Material Properties

Mechanical Properties:

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☐ Modular

Other:

- ☐ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☐ High embodied energy
- ☐ Conductive

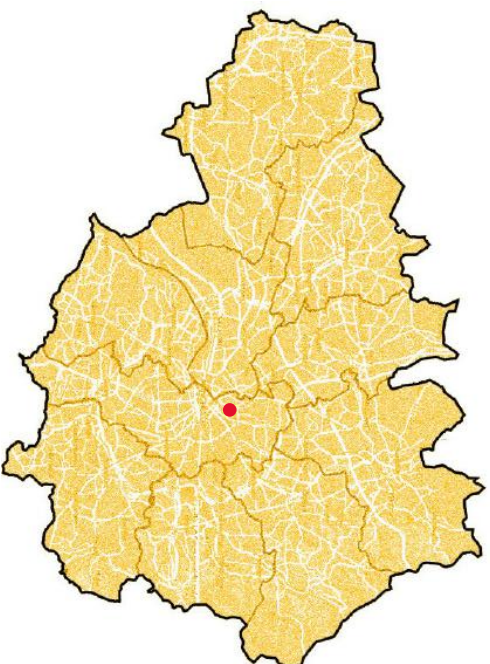
Material Dimensions per unit:

Weight: 18kg
Dimensions: 1000 x 1000 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:
20

Amount Required per unit:
350

Temporal Sequence:
Weekly



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

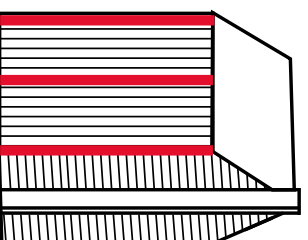
Skill Level Required

- ☐ High
- ☐ Medium
- ☒ Low

Estimated Duration of Production
1 days

Material Application:

- ☒ Structure
- ☐ Foundation
- ☐ Flooring
- ☐ Insulation
- ☐ Cladding - Roof
- ☐ Cladding - Wall
- ☐ Post Box



Precedent

Pallet House by Azin Vahy and Suzan Wines



Ibeam (2015) The Pallet House. Available at: <http://www.i-beamdesign.com/the-pallet-house-newyork/> (Accessed: 29.11.16)

Composite Panels

Main Material Collaborator

Address:
Koko Fashion
Derby Street, M8 8HW
Email:
lungsonld@hotmail.com
Contact:
Mr. Lo

Material Properties

Mechanical Properties:

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☒ Modular

Other:

- ☐ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☒ High embodied energy
- ☐ Conductive

Material Dimensions per unit:

Weight: 16g
Dimensions: 55 x 120 mm
Approx Load Capacity: <500kg

Amount Available per unit:

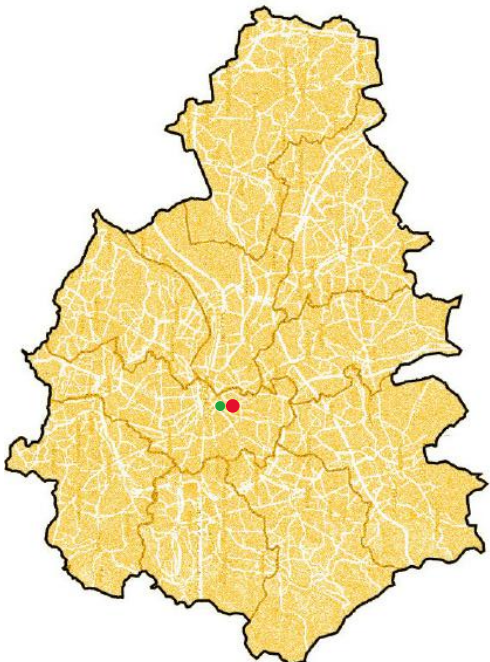
Tbc

Amount Required per unit:

2500

Temporal Sequence:

Once



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

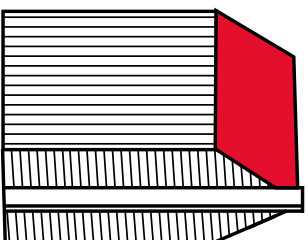
- ☐ High
- ☒ Medium
- ☐ Low

Estimated Duration of Production

2 days

Material Application:

- ☐ Structure
- ☐ Foundation
- ☐ Flooring
- ☒ Insulation
- ☒ Cladding - Roof
- ☐ Cladding - Wall
- ☐ Post Box



Example

Available composite panels on a local site about to be took to landfill.



Photo by Ross Neal (2016)

Rubble

Main Material Collaborator

Address:

Jersey Street, Manchester
M4 6JA

Email:

mevans@ericwright.co.uk

Contact

Eric Wright

Material Properties

Mechanical Properties

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☐ Modular

Other

- ☐ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☐ High embodied energy
- ☐ Conductivity

Material Dimensions per unit:

Weight: unknown

Dimensions: unknown

Approx Load Capacity: unknown

Amount Available:

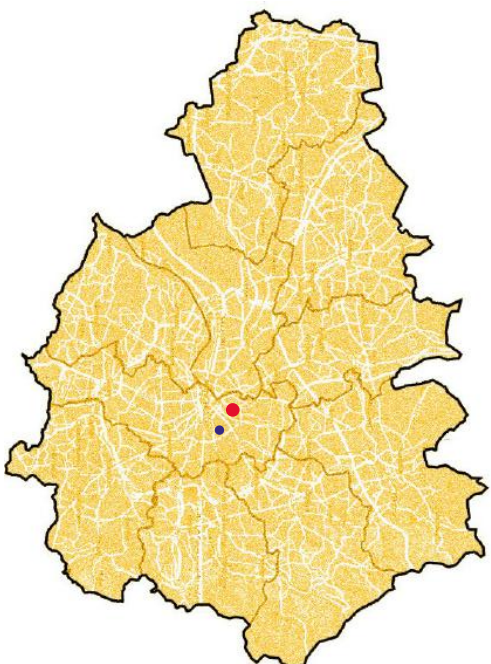
20 tonnes

Amount Required per unit:

60m³

Temporal Sequence:

once



Material Manipulation

Materials Required:

Wood
Nails
Varnish

Tools Required

Hammer
Saw
Sandpaper

Skill Level Required

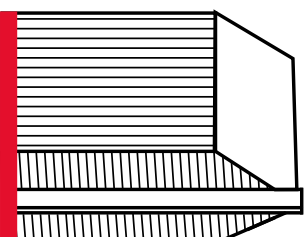
- ☐ High
- ☐ Medium
- ☐ Low

Estimated Duration of Production

2 days

Material Application:

- ☐ Structure
- ☐ Foundation
- ☐ Flooring
- ☐ Insulation
- ☐ Cladding - Roof
- ☐ Cladding - Wall
- ☐ Post Box



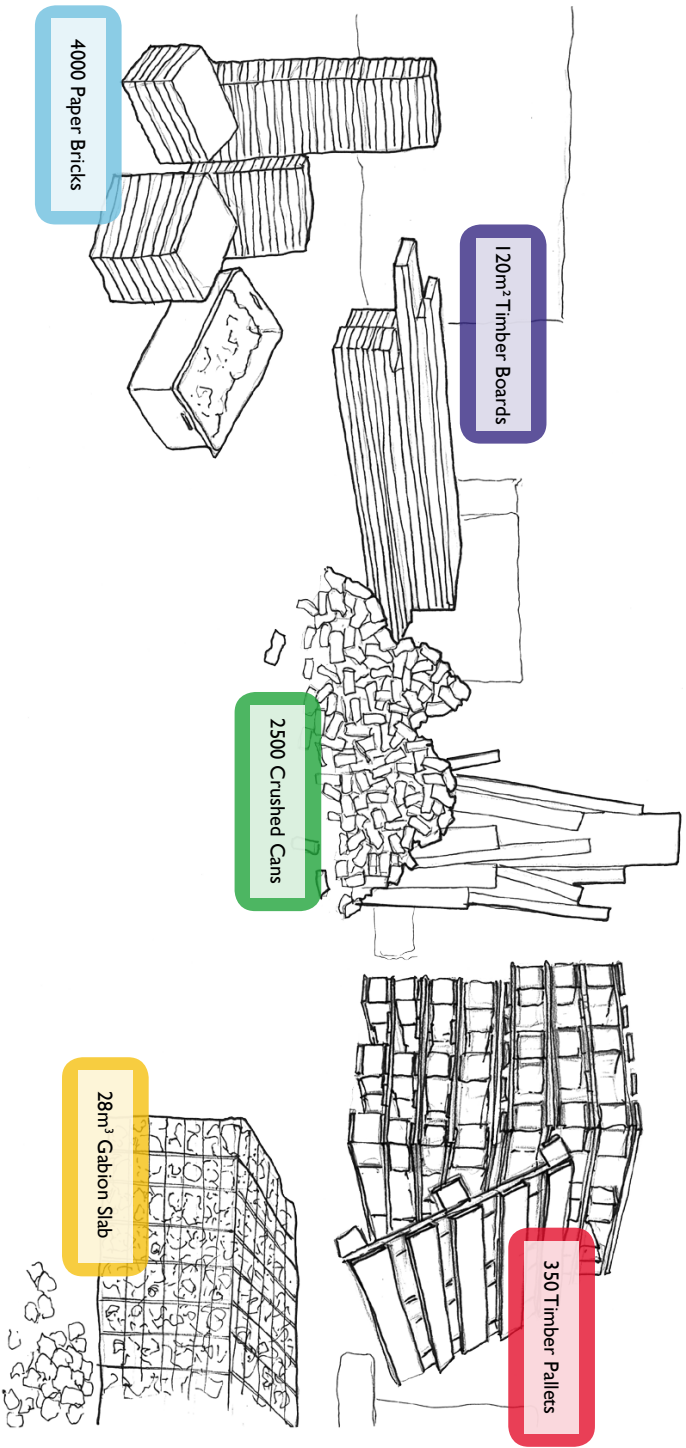
Precedent

Metropolitan Park South Access by Poldura Talhouk Arquitectos

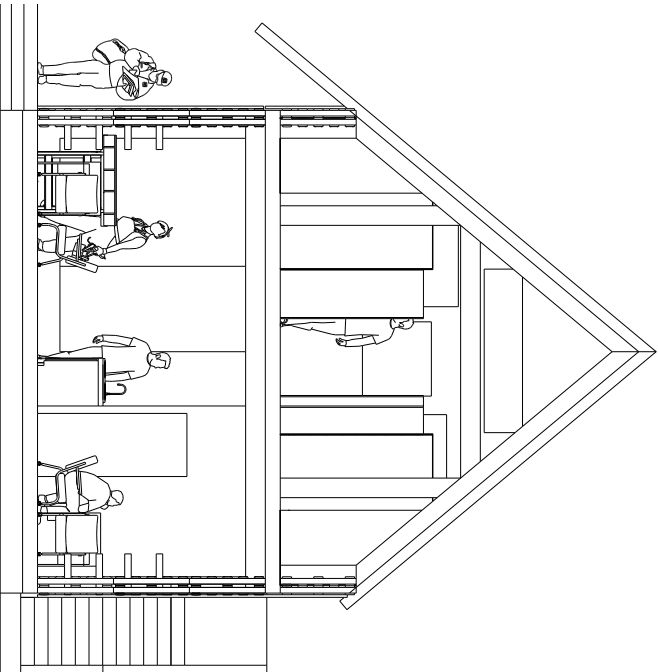


ArchDaily (2013) Metropolitan Park South Access / Poldura Talhouk Arquitectos - Available at: <http://www.archdaily.com/440276/metropolitan-park-south-access-poldura-talhouk-arquitectos/512667083f4b11a7000450-metropolit-tan-park-south-access-poldura-talhouk-arquitectos-image> (Accessed: 29/11/2016)

Raw Materials

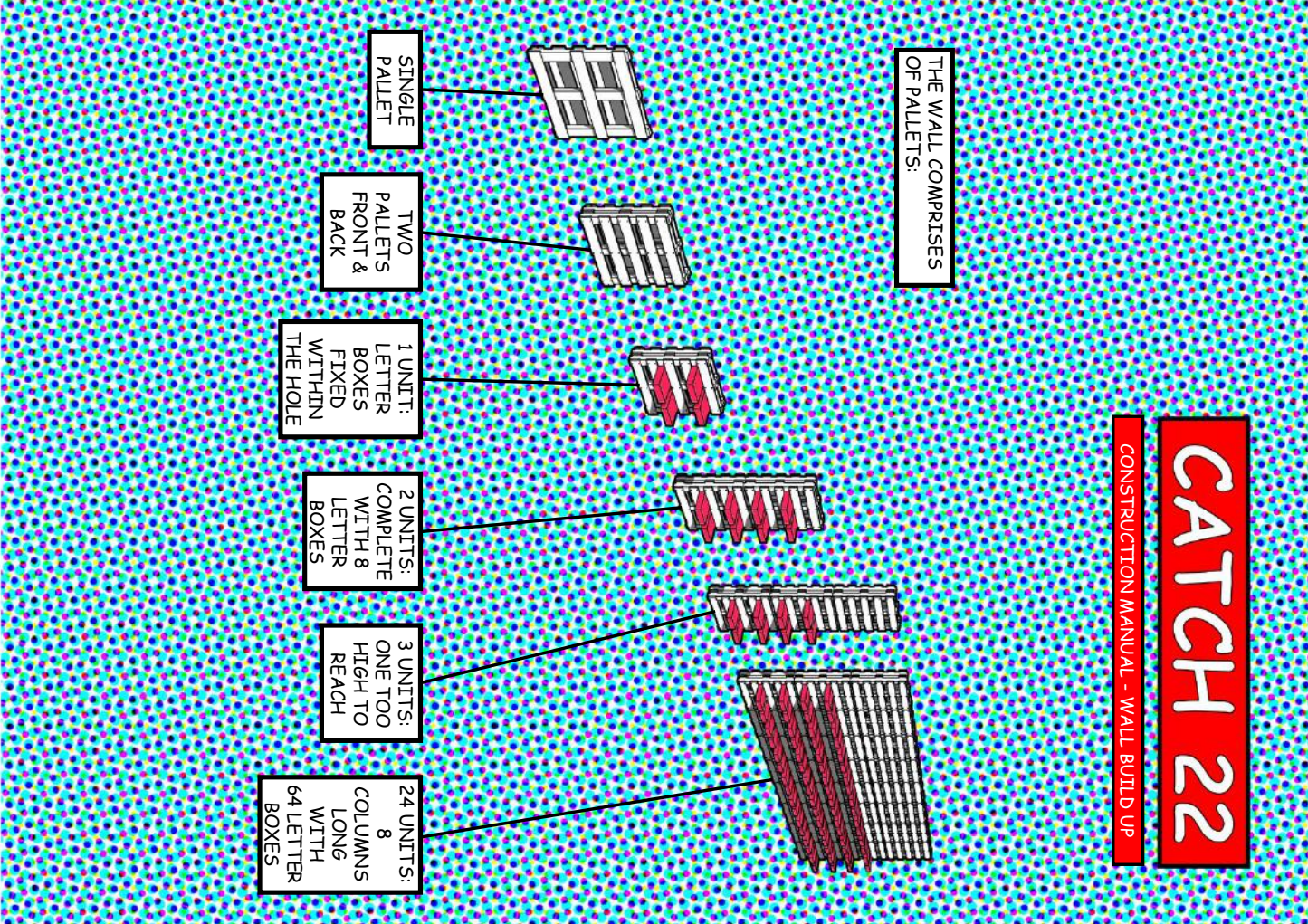


Wall Build Up

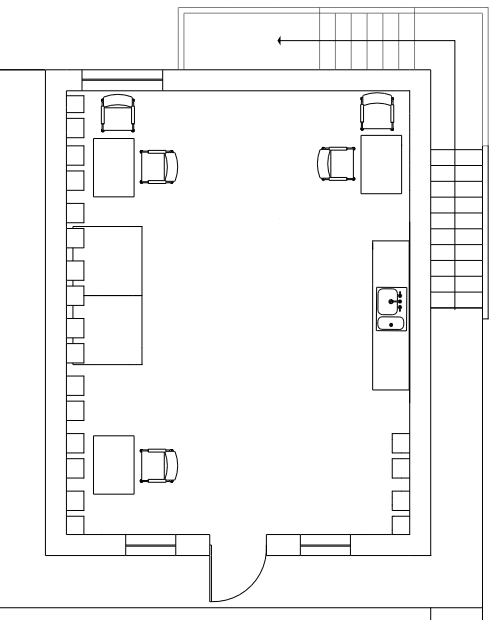


Construction diagram - Letterbox wall

This image shows an example of the simple way in which the construction of the letterbox wall can be illustrated. The majority of the wall comprises of pallets, paper brick insulation, crushed can shingles the make up of which can be illustrated on further diagrams to complete the construction manual.



Wall Section



Ground Floor - Wall Build Up

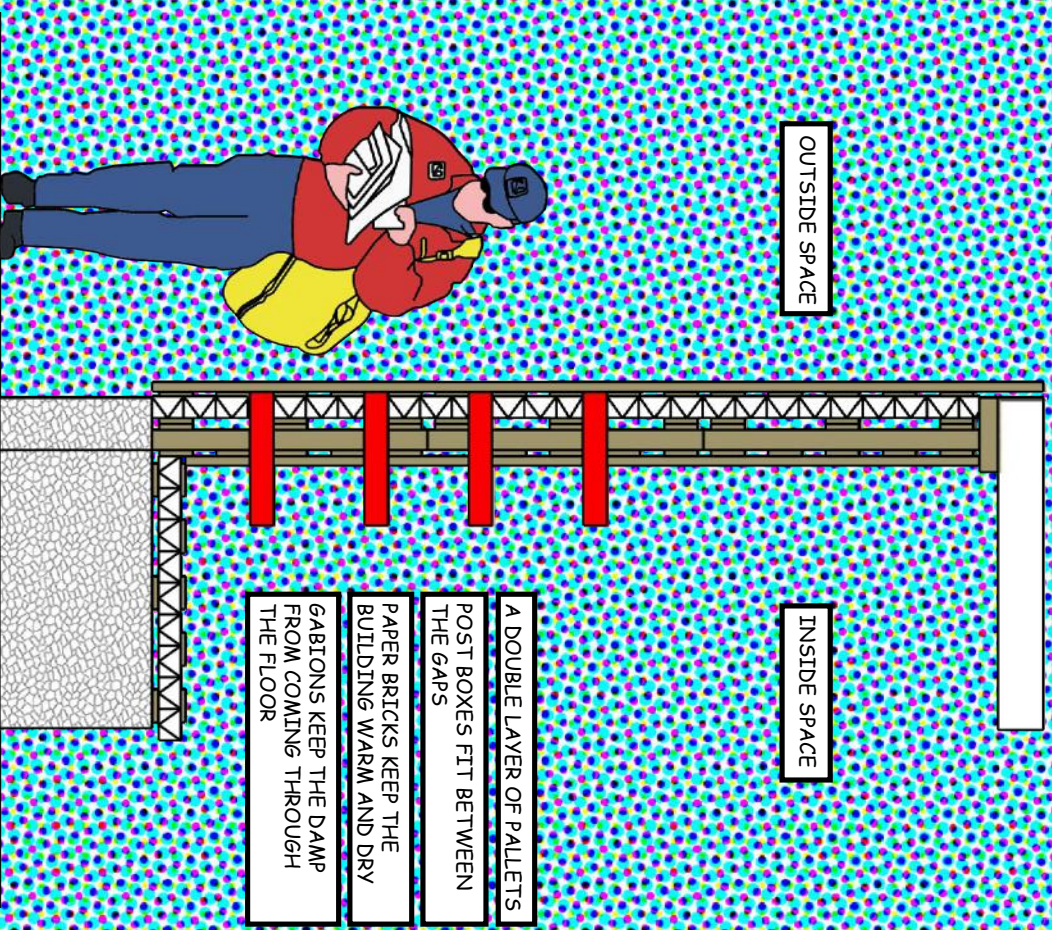
This image further explains the relationship between the exterior and interior space as well as graphically illustrating the build up of the wall.

The structure of the wall comprises of an exterior and interior pallet, which are filled with paper bricks. These bricks provide rigidity, insulation and protection from water. Puncturing this wall construction are postboxes which can be built using timber, or potentially the same paper/concrete product that is used to make the bricks.

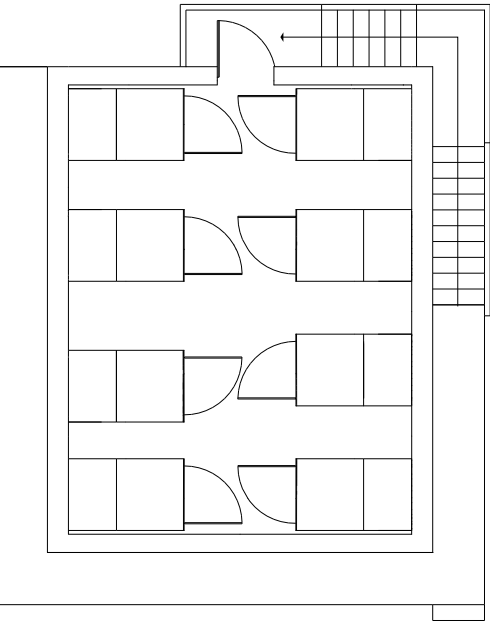
CATCH 22

OUTSIDE SPACE

INSIDE SPACE



Bed Pod

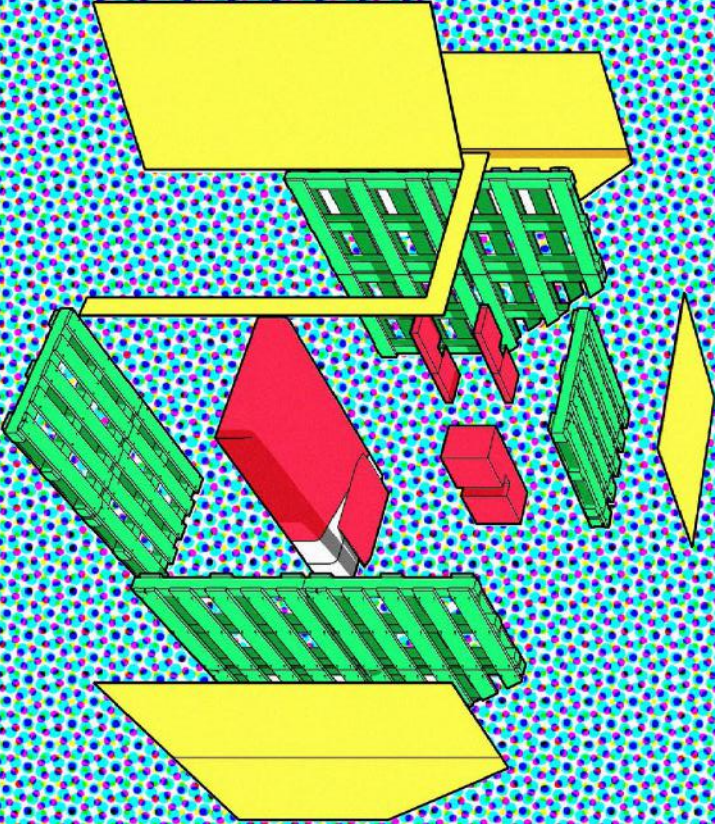


First Floor - Sleeping Pod

The Pod comprises of a stand alone structure, its key quality being that it can be modified if different materials become available. The design provides privacy, and the minimum amount for comfort, a locker for the guests things however the space is not intended for permanent stay. So consequently provides only the emergency relief for the user.

CATCH 22

CONSTRUCTION MANUAL - THE SLEEPING POD



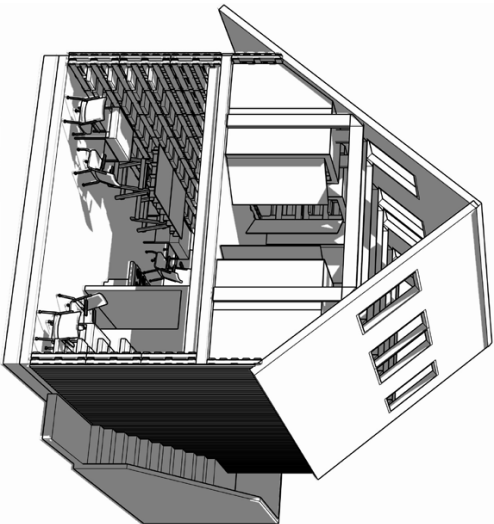
THE POD COMPRISES OF THREE ELEMENTS:

THE STRUCTURE, MADE BY UTILISING PALLETS AS THE ILLUSTRATION, RECOMMENDED 11 PER POD.

MATRESS WHICH CAN BE MADE FROM RECYCLED FOAM OR PURCHASED IF NECESSARY. CUSTOMISABLE WITH LOCKERS AND SHELVES AND

CLAD IN MATERIALS FOUND LOCAL TO SITE, MDF, PLYWOOD, OSB ETC.

Design

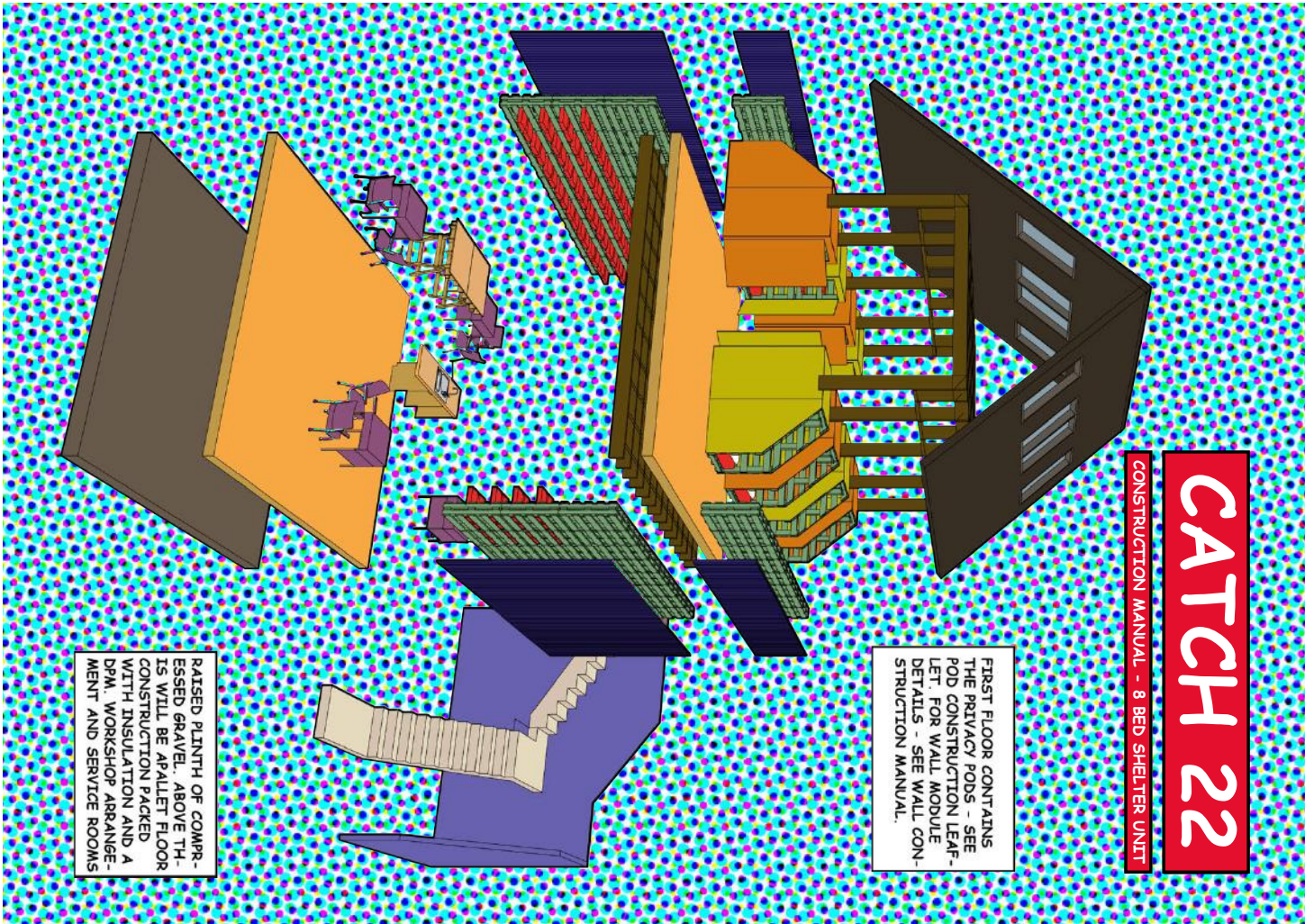


Catch 22

The building incorporates a flexible space on the ground floor which can be used as a workshop during the day time, but becomes communal living area for the accommodation above on an evening. The ground floor contains the postboxes which are accessed externally.

The first floor accommodation includes 8 emergency sleeping pods which are accessed via the external staircase. The beds sit within a communal dorm however privacy and security is offered through the enclosed pods in which there are selves and storage areas for personal items and valuables.

The following pages will detail the make-up and construction of the unit.



User Manual

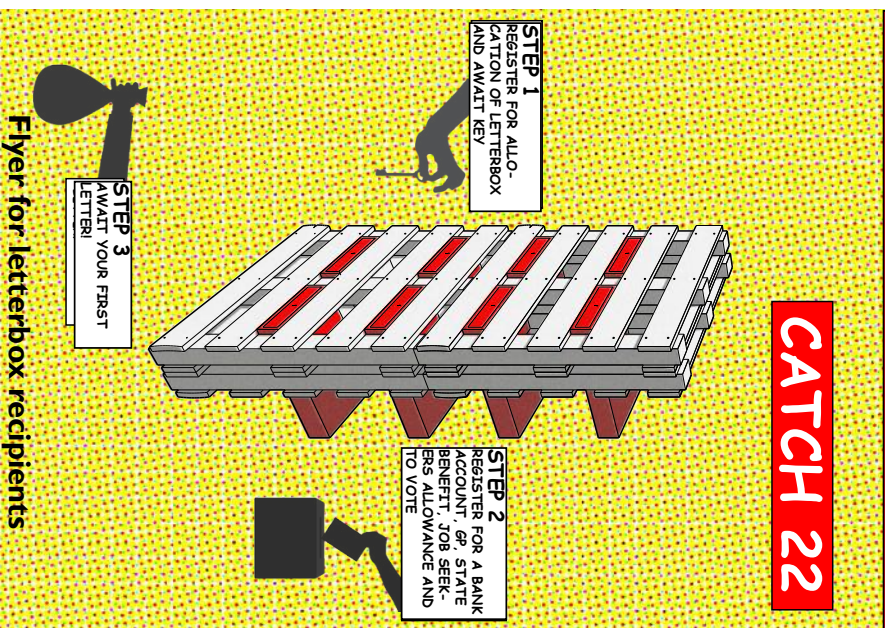
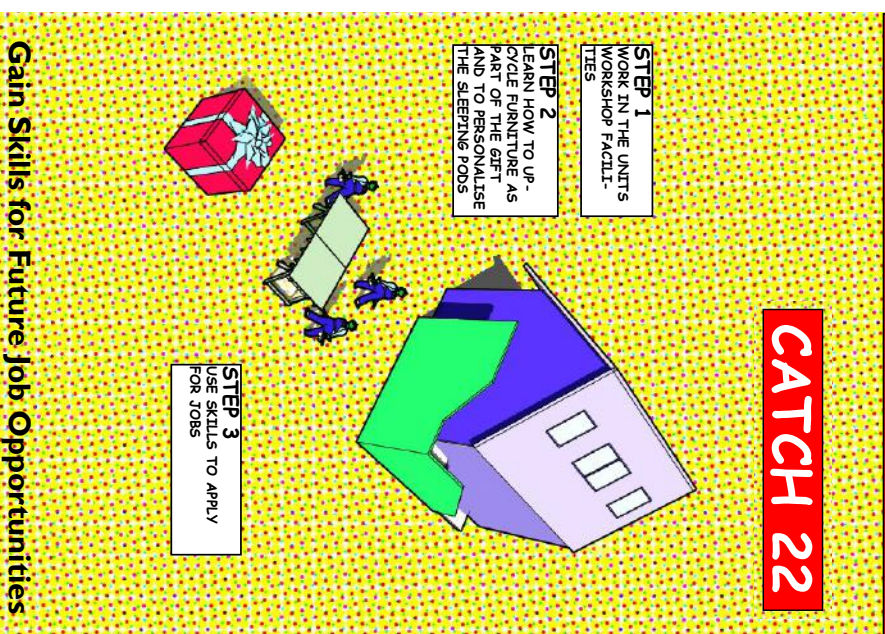
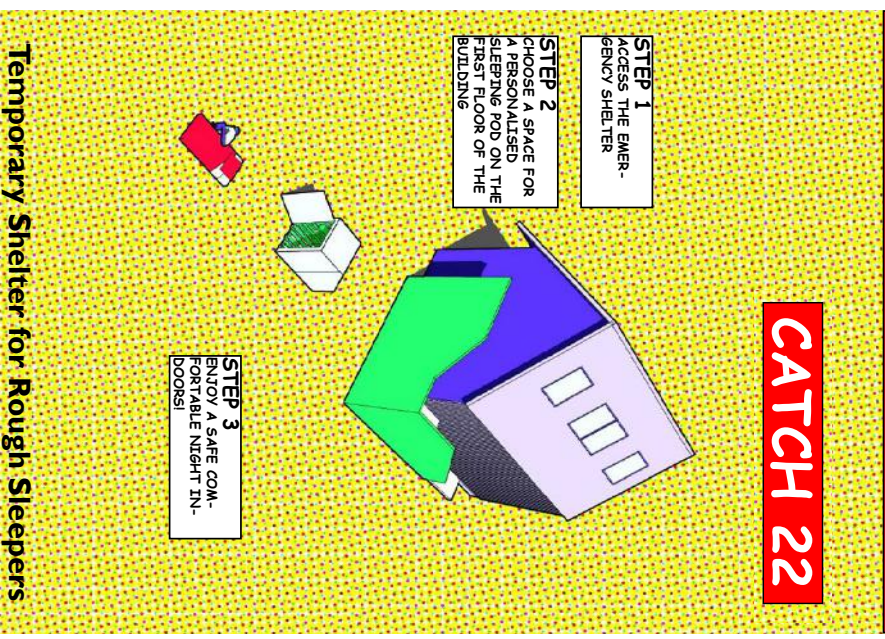
User Guide	40
Gift Production	42
Material Sources	43
Fabric	44
Furniture Upcycle	45
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Project Expansion Geography Archipelago Postbox Expansion Whole Model Expansion	49

User Manual

Accommodation

Workshop

Postbox



This flyer shows an example of the simplicity of the system within our intervention. The recipient will have complete privacy in the information that they receive and will have complete access to their letterbox at all times.

This flyer shows that our intervention will contain a workshop where the users of the facility will up cycle furniture as part of a 'Gift' and also to improve the standards of the shelter.

From this process the recipient should be able to gain access to a bank account, Housing Allowance, Job Seekers Allowance, the National Health System, the Vote plus many more.

From these new skills learned in this workspace, the idea is that the individuals will depart from this facility with a set of tools that will provide them with future job opportunities.

This flyer depicts the intervention as an emergency shelter for rough sleepers in desperate need. The encouragement that the shelter is temporary is to benefit the development of the individual.

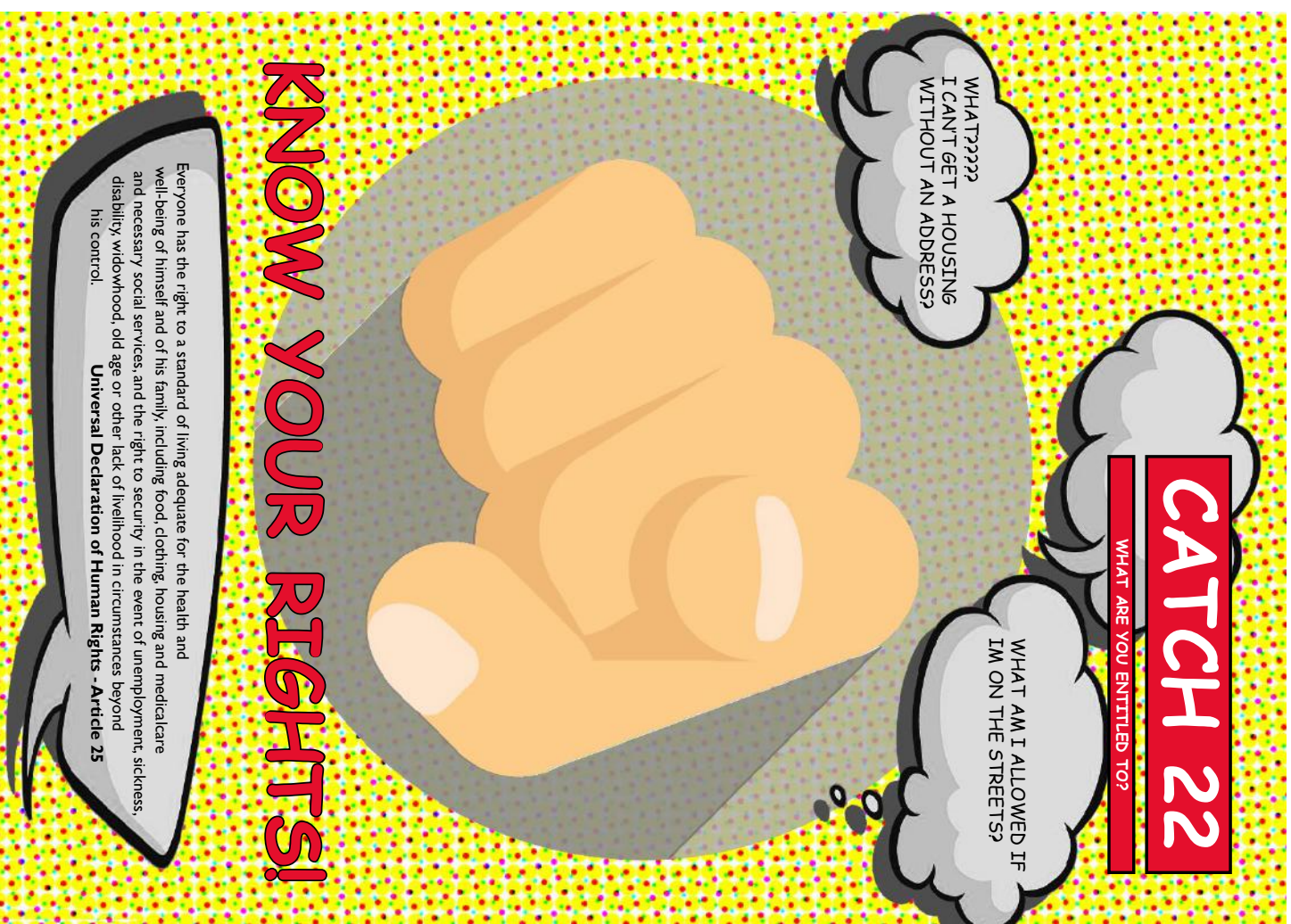
The first floor of the unit will contain personalised pods, created with the use of the workshop.

Know your rights!

[Your rights]

As we have addressed through this proposal, the intervention is merely a bridge connecting, the vulnerable to the care that is needed. The irony is that the government and councils offer a lot of support to the residents of this country, yet there are still people who can't access it.

The poster to the right, is addressing the issue that some people might still assume that if they're homeless they are no longer entitled to this support. This will no longer be the case after the construction of Catch 22. Know your rights!



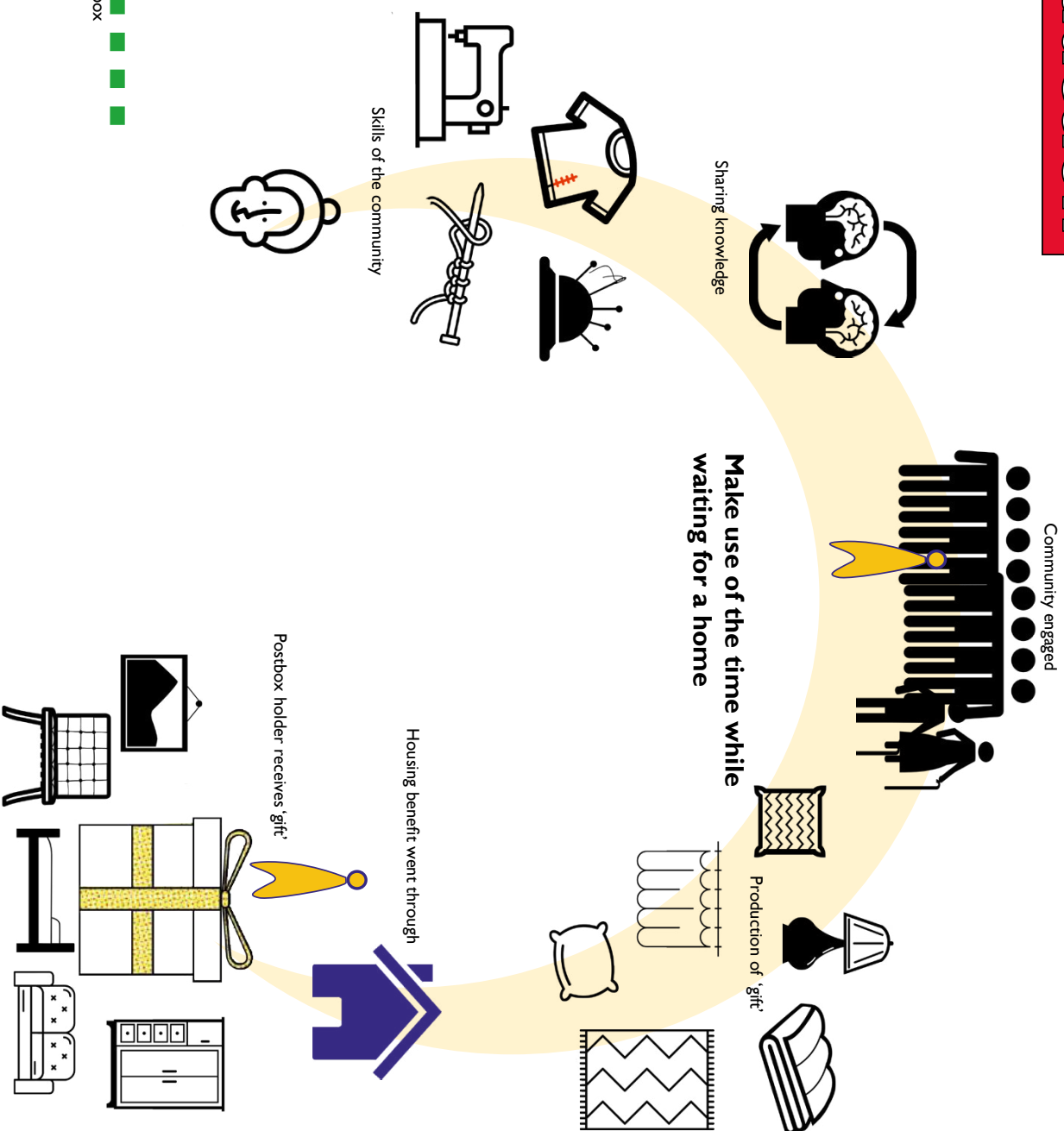
The 'Gift' Production

[A gift to engage]

The 'gift' which is received by the postbox owner ones an application had been successful, comprises a set of furniture and furnishings produced by the holder and the community in the workshop.

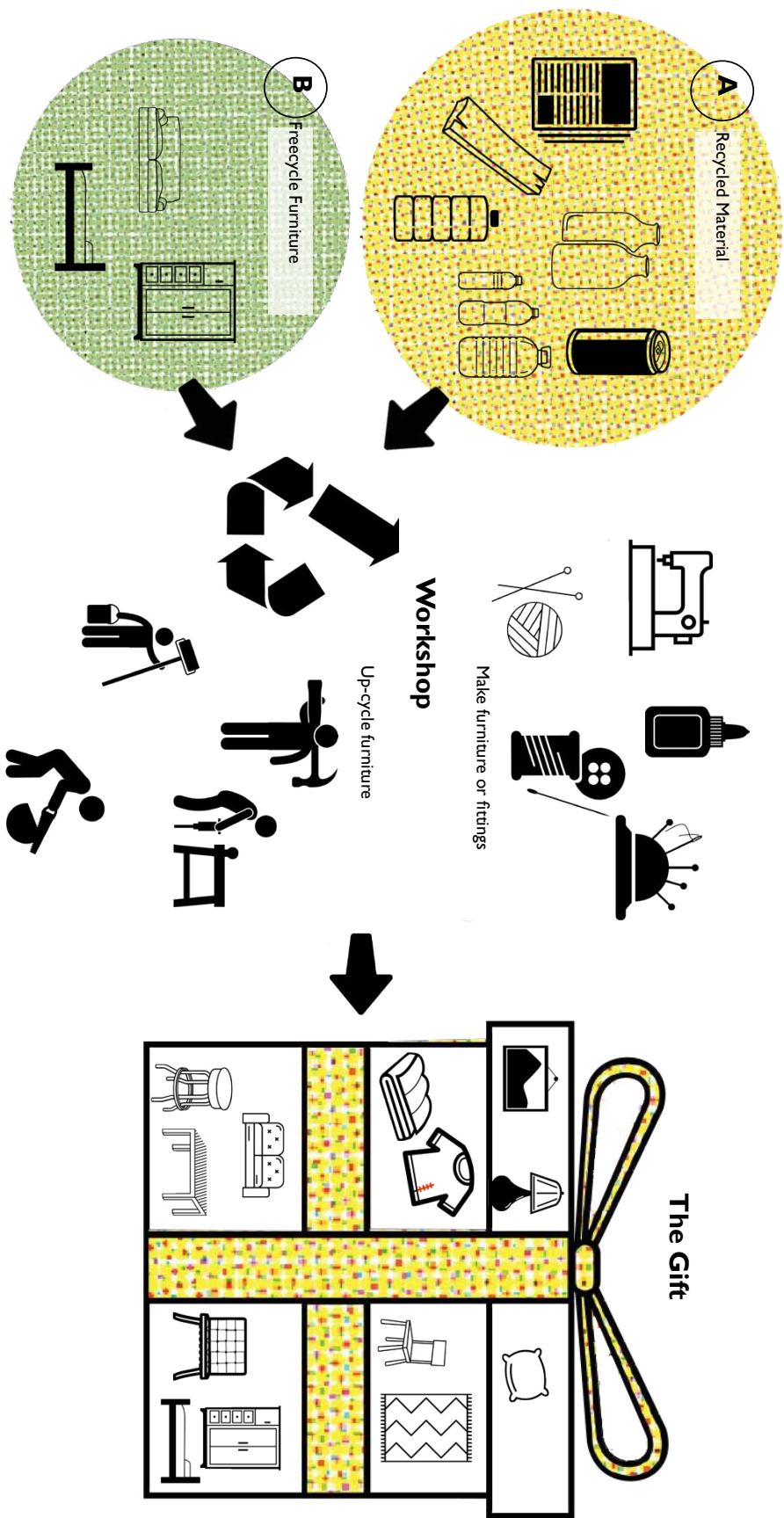
By signing onto the program the individual has the opportunity to get involved with the community and apply themselves to new skills. It is an opportunity to creatively shape an individual space by making an array of furnishings which have been established as essential to providing a better standard of living in the residents new home.

The production of the 'gift' however allows for the whole community (old or young, woman or man) to be involved. And share knowledge to strengthens the support network.



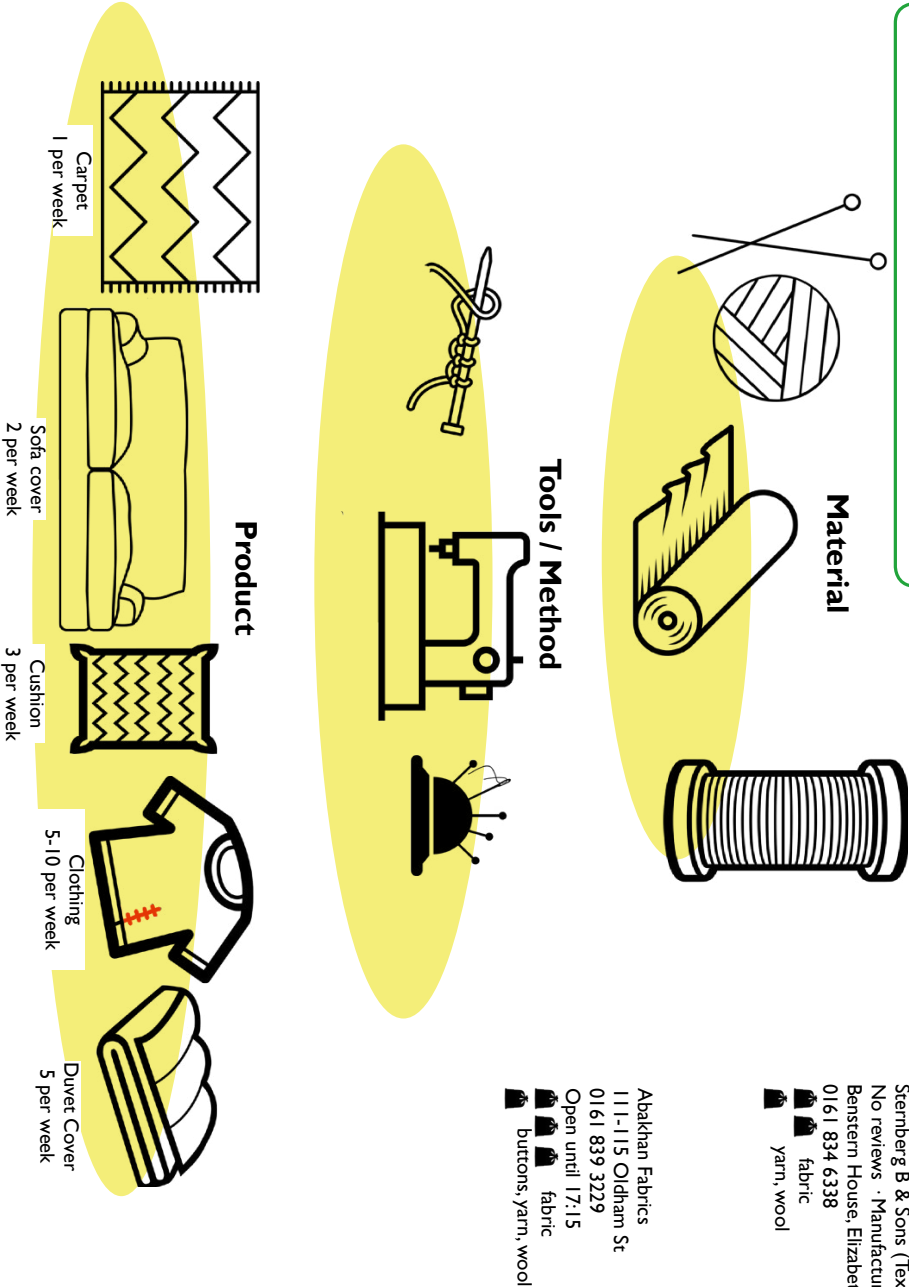
Material Sources

Material sources for workshop



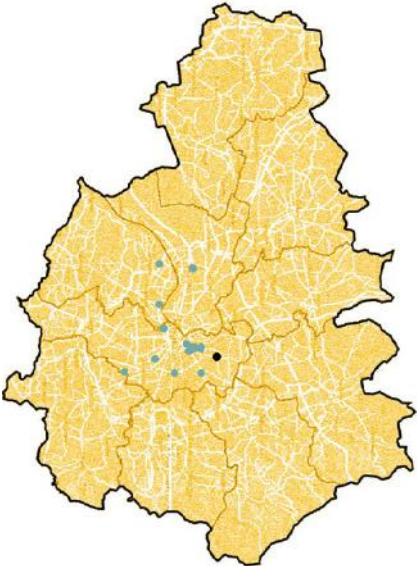
Fabric

By establishing relationships with fabric factories we can start the production of the soft hand crafted 'gift' products. Allowing knitting, sewing, weaving and sticking to be a major method for the workshop and engage a wider range of the community into the programme.



Sternberg B & Sons (Textiles) Ltd
 No reviews · Manufacturer
 Benstern House, Elizabeth St
 0161 834 6338
 fabric
 yarn, wool

Abakhan Fabrics
 11-1115 Oldham St
 0161 839 3229
 Open until 17:15
 fabric
 buttons, yarn, wool

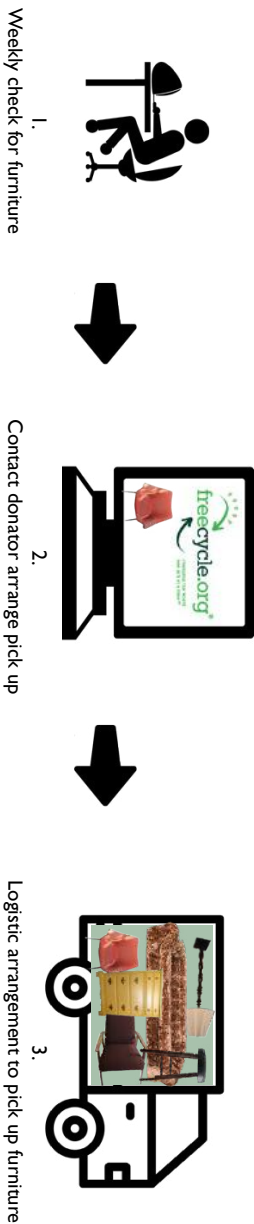


Visage Textiles Ltd.
 No reviews · Textile Merchant
 9-11 Chatley St
 0161 832 2213
 fabric

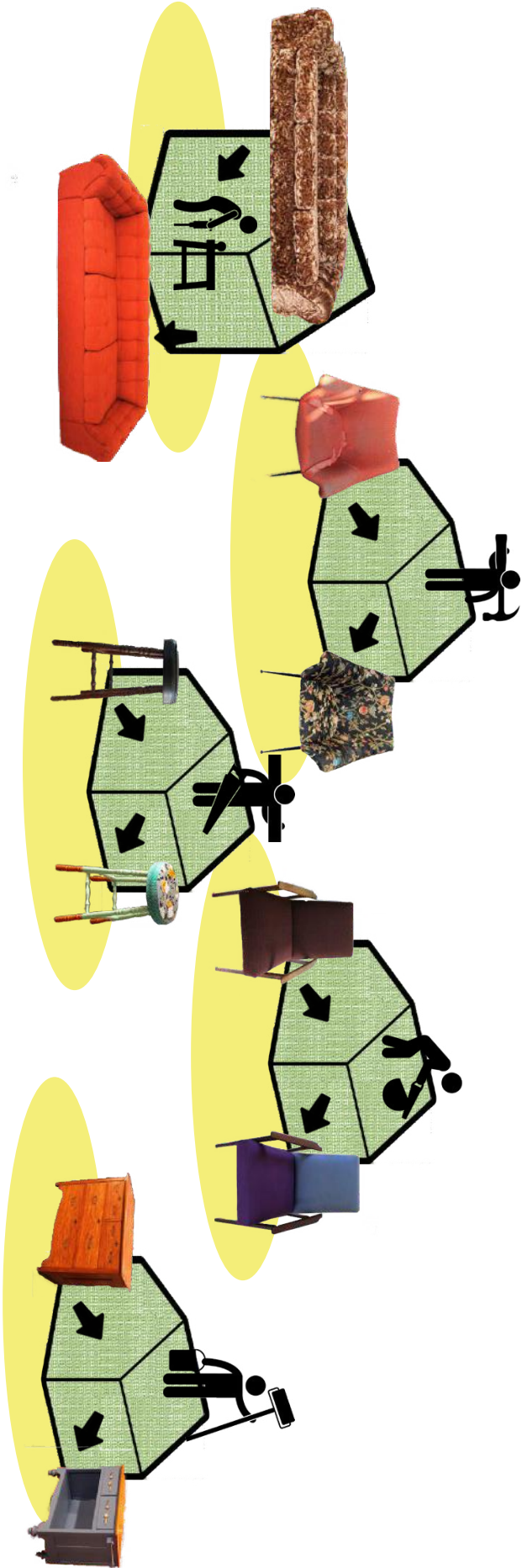
M.I.A Fashions
 4 reviews · Clothes and Fabric Wholesaler
 41 Broughton St
 0161 819 2323
 fabric, leather

Furniture Up-cycle

Furniture will be sourced from freecycle.org, which is a grassroots and entirely non-profit organisation of people who are giving (and getting) stuff for free from their local area in order to keep useful stuff out of landfill.



Up-cycle in the Work-shop

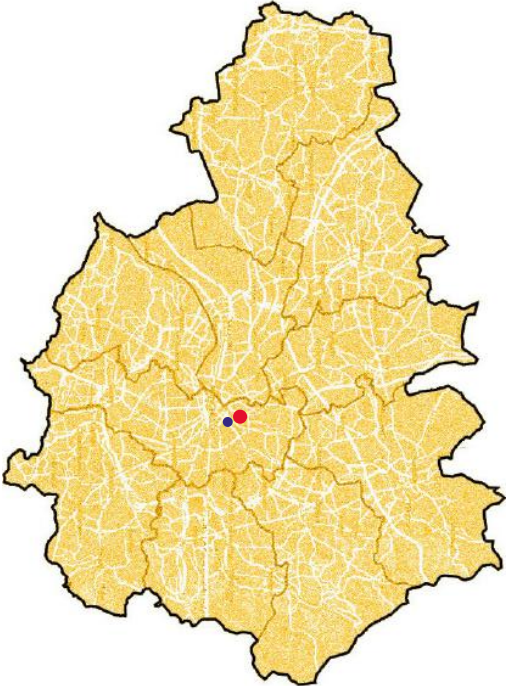


Up-cycling - Tyres

Main Material Collaborator
Address:
 UK No 1 Tyres
 111 Cheetham Hill Rd, Manchester
 M8 8PY
Tel. No:
 07577 286172
Contact:
 James Warrick

Material Properties
 Mechanical Properties
☐ Brittle
☐ Compressive Strength
☐ Tensile Strength
☐ Hardness
☐ Stiffness
☒ Modular
 Other
☐ Flammable
☐ Thermally Insulating
☐ Acoustically Insulating
☐ Corrosive
☐ Magnetic
☐ High embodied energy
☐ Conductivity

Material Dimensions per unit:
 Weight: 7kg
 Dimensions: 13"/17" diameter
 Approx Load Capacity: unknown
Amount Available:
 10
Temporal Sequence:
 Tbc



- Material Index**
- Tyre
 - Foam
 - Cloth
 - Glue
 - Wood

Production method:



<http://homesthetics.net/45-diy-the-projects-how-to-creatively-upcycle-and-recycle-old-tyres-into-a-new-life/> (8.1.1.2016)



Seating and Table made from tires <http://www.fabartdy.com/wp-content/uploads/2015/02/FabArTDIY-Ways-to-Repurpose-Old-Tires2.jpg> (8.11.2016)

Up-cycling - Pallets

Main Material Collaborator

Address:
Welcome Centre,
Cheetam Hill, Manchester
M8 0 TW

Tel No:
01 61 792 9760

Contact:
Mark

Material Properties

Mechanical Properties

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☒ Modular

Other

- ☒ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☐ High embodied energy
- ☐ Conductivity

Material Dimensions per unit:

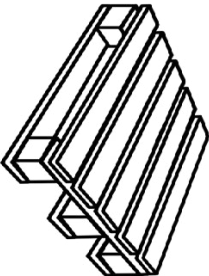
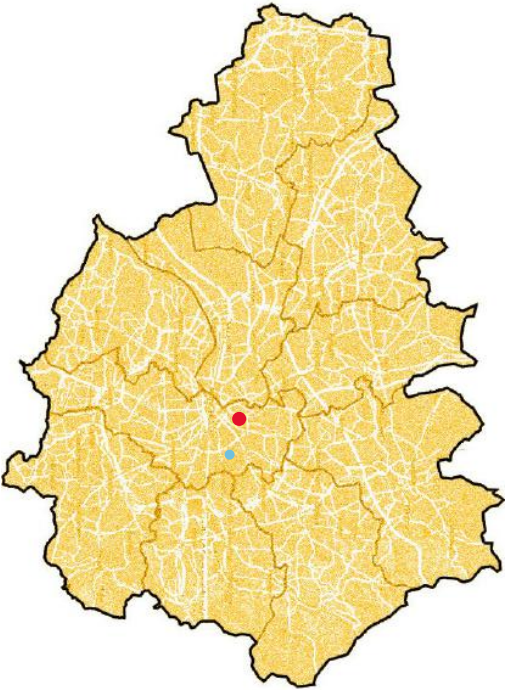
Weight: 18kg
Dimensions: 1000 x 1000 x 120 mm
Approx Load Capacity: <500kg

Amount Available:

Leftover from construction

Temporal Sequence:

Tbc



Material Index

- Pallets
- Cloth
- Paint
- Foam
- Glue/Staples

Production method:



Pallet library <http://cdh.homedt.com/wp-content/uploads/2011/08/diy-shipping-pallet-bookshelf-and-bike-rack.jpg> (8.11.2016)



Pallet Bed https://blog.griffintechnology.com/wp-content/uploads/sites/2/2015/11/SCL_015_BIG-Palletfurniture_01.png (8.11.2016)



Up-cycle - Plastic Bottles

Main Material Collaborator

Address:

Emerge
Whitworth Street East, Manchester
M1 1 2WJ

Tel. No:

0161 2238200

Contact:

Gareth Jones

Material Properties

Mechanical Properties

- ☐ Brittle
- ☐ Compressive Strength
- ☐ Tensile Strength
- ☐ Hardness
- ☐ Stiffness
- ☐ Modular

Other

- ☐ Flammable
- ☐ Thermally Insulating
- ☐ Acoustically Insulating
- ☐ Corrosive
- ☐ Magnetic
- ☒ High embodied energy
- ☐ Conductivity

Material Dimensions per unit:

Weight: miscellaneous
Dimensions: miscellaneous
Approx Load Capacity: none

Amount Available:

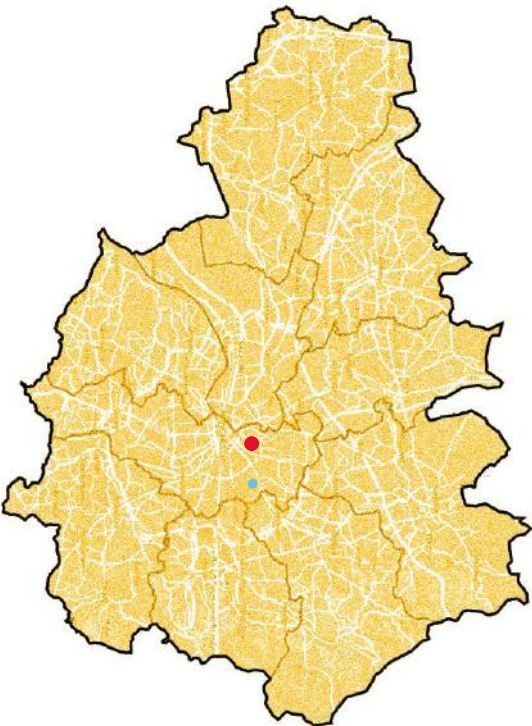
>2l

Amount Required per unit:

120m²

Temporal Sequence:

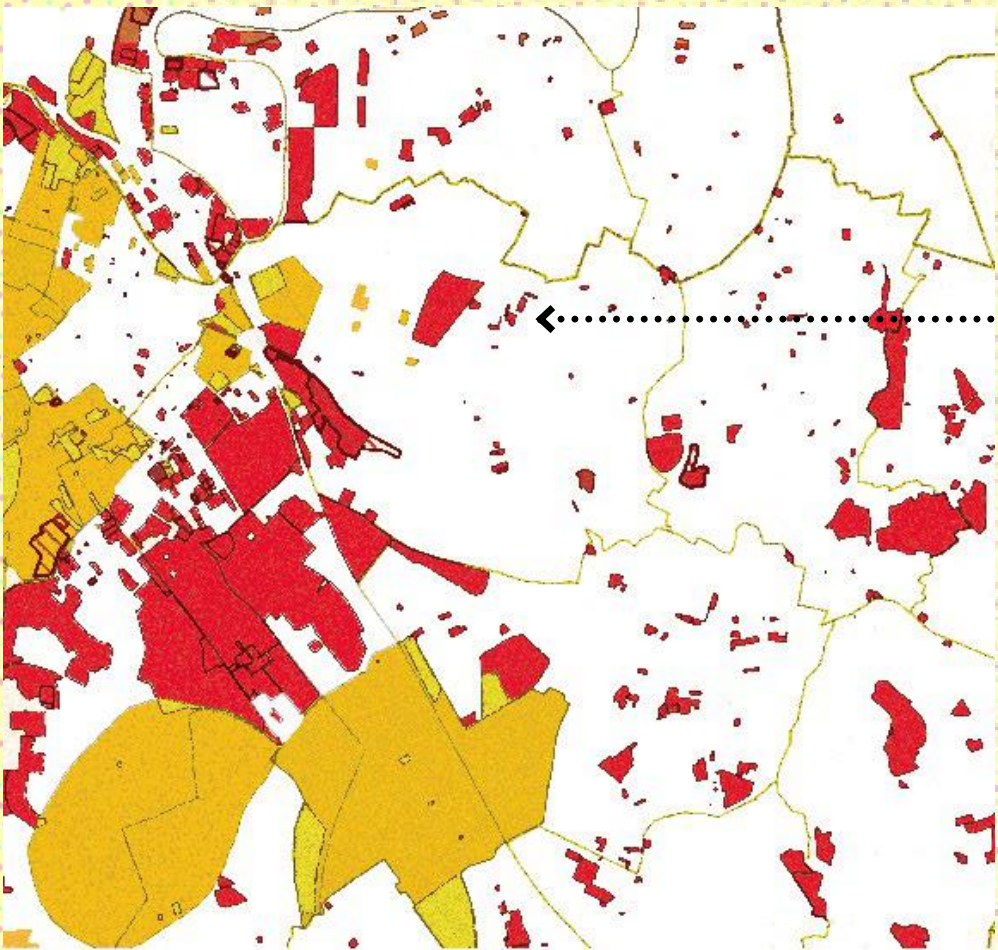
Tbc



Steph (2011) An other way of up-cycling plastic bottles. Available at: <http://upcycling.blogspot.co.uk/2011/08/other-way-of-upcycling-plastic-bottles.html> (29.11.2016)

Potential City Centre Sites

Site:
Cheetham Hill Community Centre



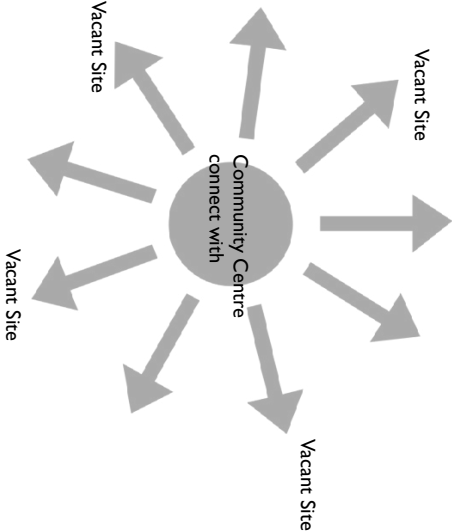
**Vacant Sites within
1 mile radius of
Community Centre**

- Residential Space
- Industrial Space
- Office Space

[expansion of scheme]

Future expansion [just postboxes] - Not just about the workshop - postboxes can be built here and then shipped out by order. Depends on whether accommodation is the thing that is needed? Something to be determined after the initial one is set up

Initiate the Archipelago

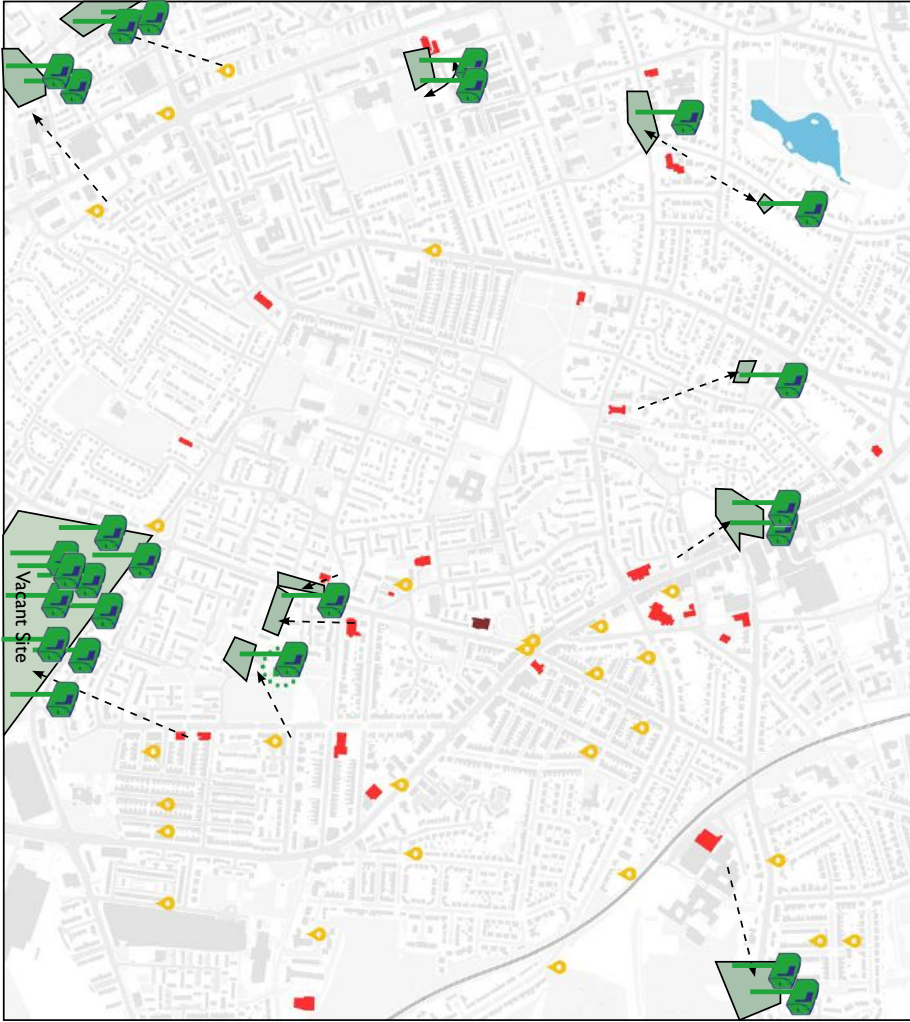


[expansion of scheme]

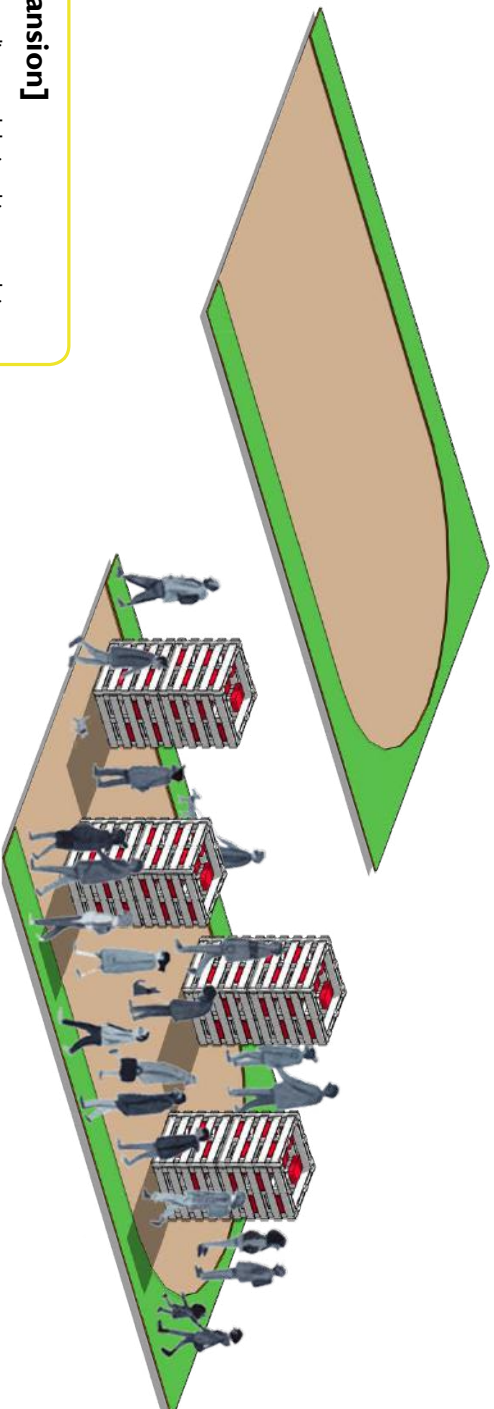
Our intervention addresses an issue which is prominent in Cheetham Hill but imminent all over the country. The intervention can be distributed fast if we initially detach the postbox from the workshop element.

This could be done by using the existing support network in Cheetham Hill by overlaying the vacant sites with the current communal site we can see which centre are close to current vacant spaces. They could act as the basis to out source the management for further postbox schemes to each of these centres.

Innovation is only valuable if it is shared



Postbox Expansion



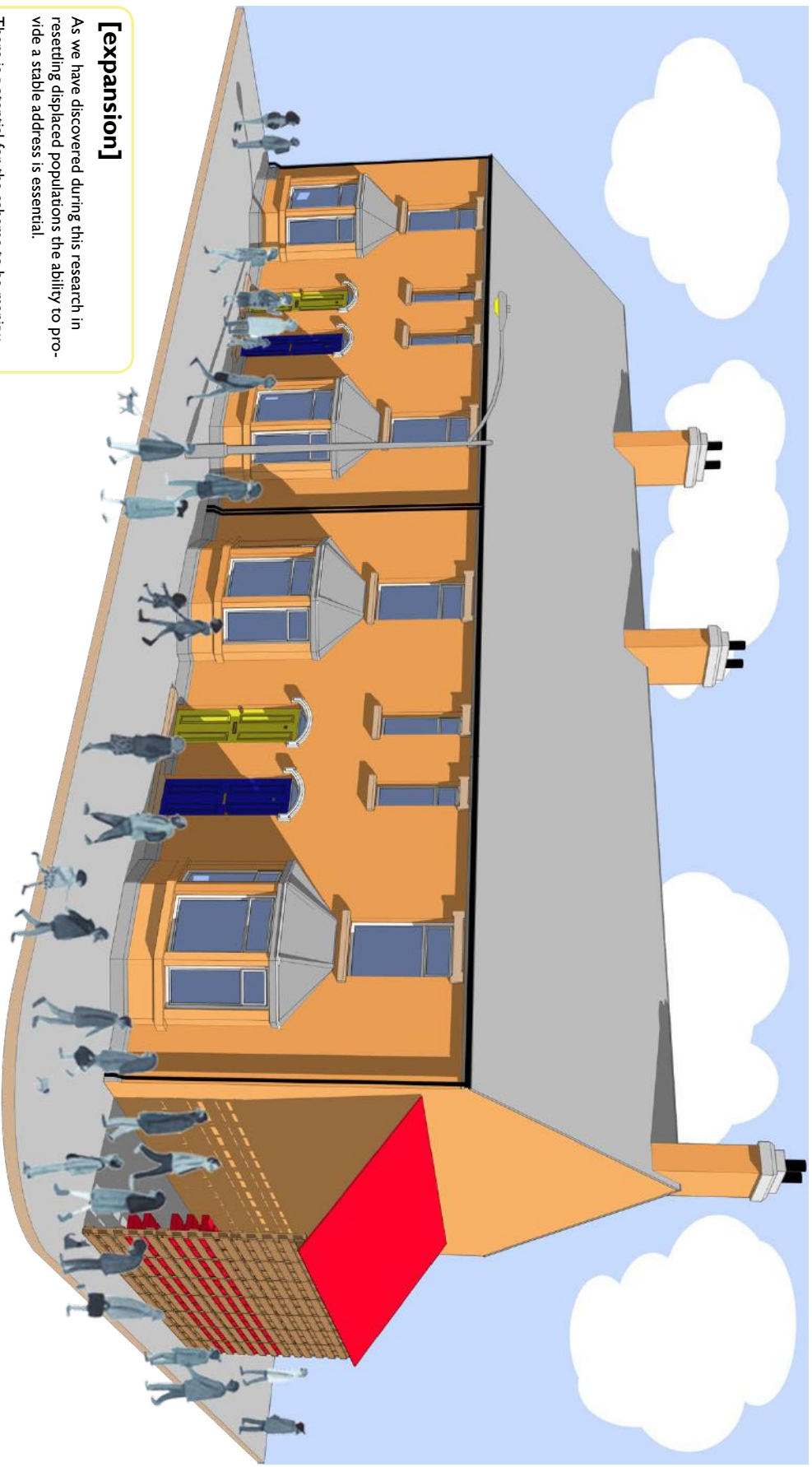
[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide a stable address is essential.

There is potential for the scheme to be confined to small open unused spaces as a sculptural postboxes in areas that currently lack the infrastructure for effective re-homing.

This image shows the unit in use in a potential brownfield area.

Postbox Expansion



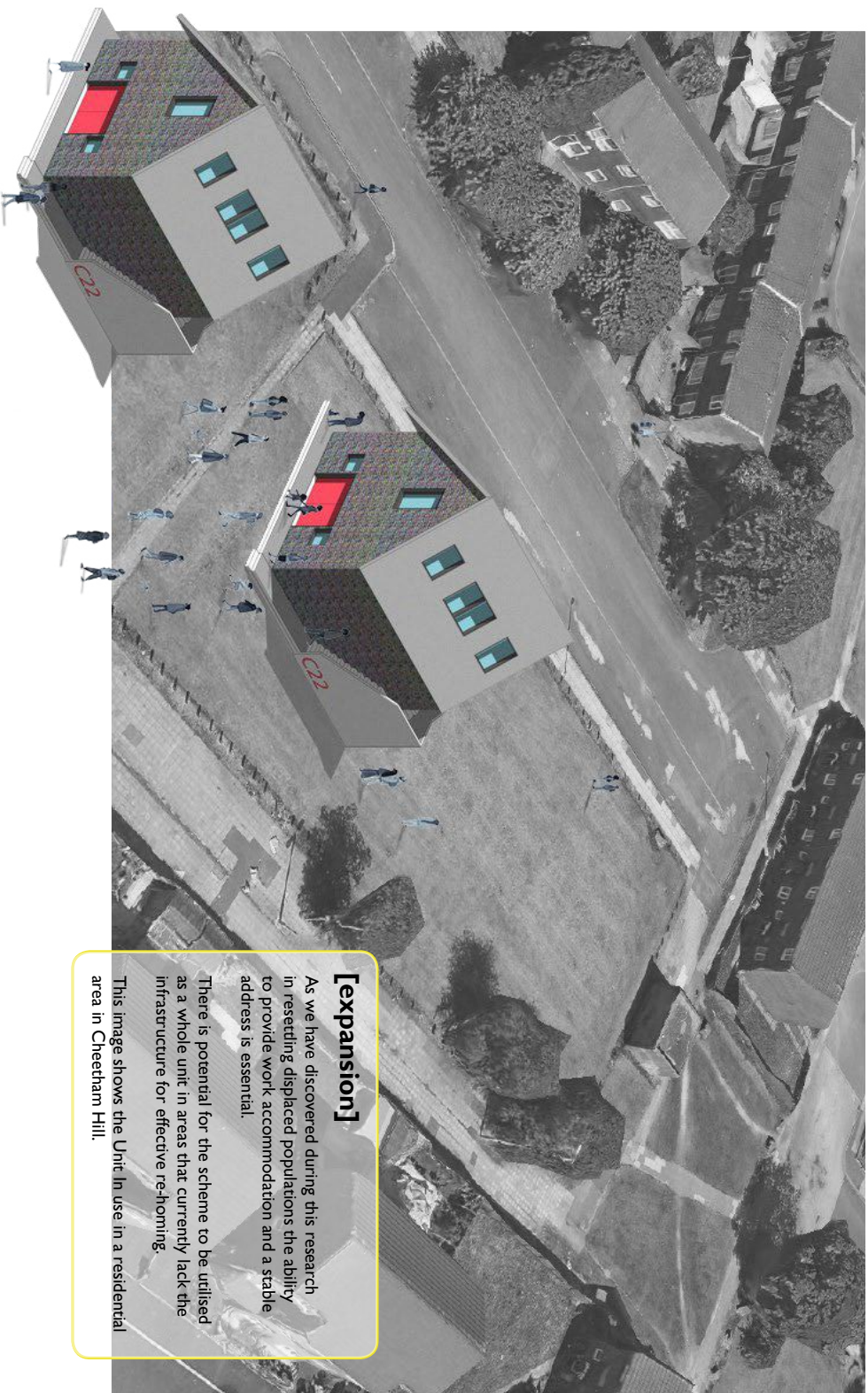
[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide a stable address is essential.

There is potential for the scheme to be manipulated as a sheltered wall of postboxes that take advantage of an existing structure in the local area.

This image shows the unit fixed up to some residential buildings in use in the area.

Whole Model Expansion



[expansion]

As we have discovered during this research in resettling displaced populations the ability to provide work accommodation and a stable address is essential.

There is potential for the scheme to be utilised as a whole unit in areas that currently lack the infrastructure for effective re-homing.

This image shows the Unit In use in a residential area in Cheetam Hill.

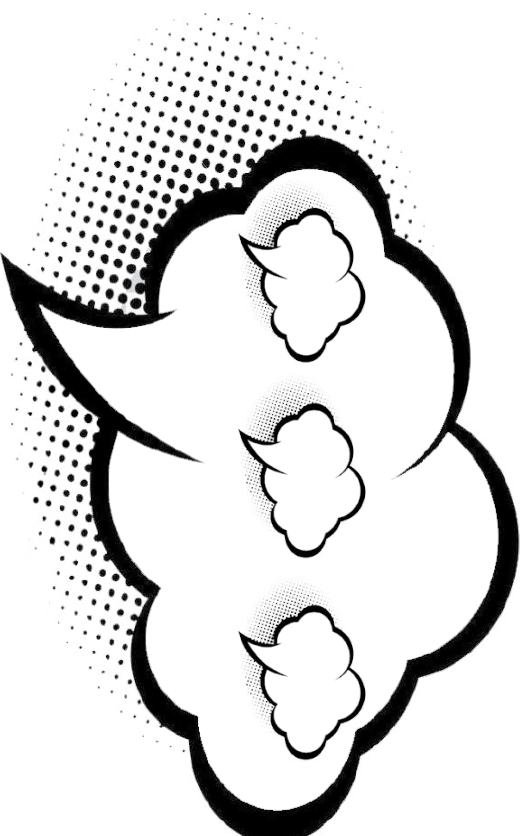
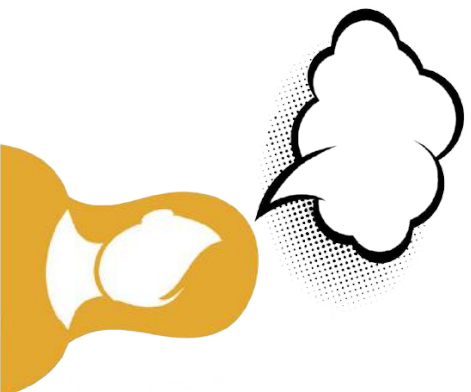
Why do we Expand?

[expansion]

The reasons for up-scaling are to create a mass voice in order to encourage change and it also allows the passage for other communities to see that they need to change.

Showing that an alternative way of achieving something is a good start, however it is important to convince others to the cause for the voice to be heard at government and organisational level.

This kind of expansion of ideas is a very good way of showing solidarity and living as though they aren't changing anything - which indicates a thoroughly prefigurative piece of architecture.



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Appendix

Hard Data **2**

- Population
- Demographic
- Migration
- Economy
- Average Wages
- Benefit Claims
- Employment & Training
- Qualifications
- Crime

- Services
- Homeless Review
- Policy Rights
- Council Failures

Living Home Standard **39**

- Affordability
- Decent Condition
- Space
- Stability
- Neighbour
- Comparison

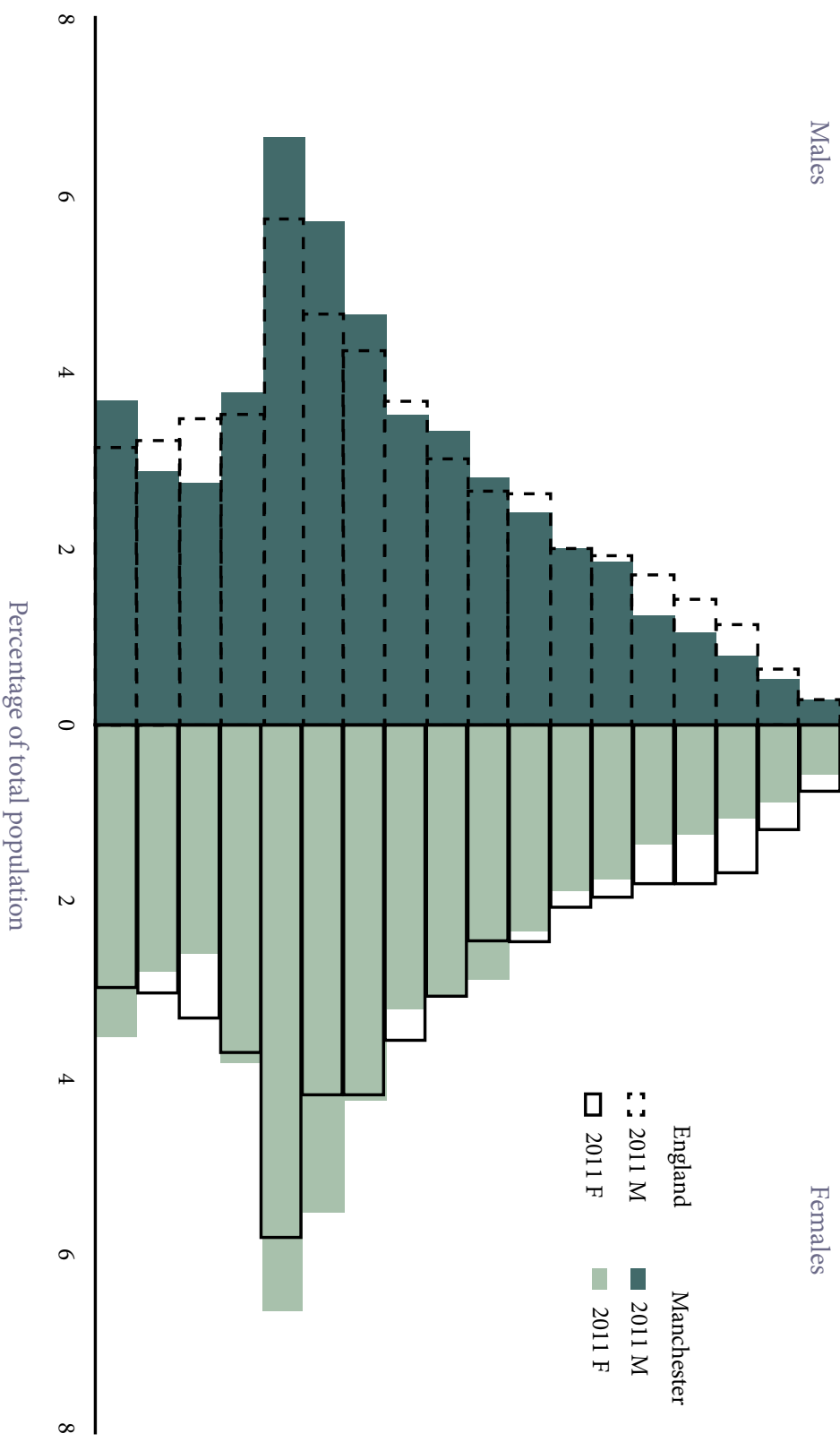
Housing **19**

- Typologies
- Provision
- Policy
- Market Analysis
- Extant Actors

Homelessness **28**

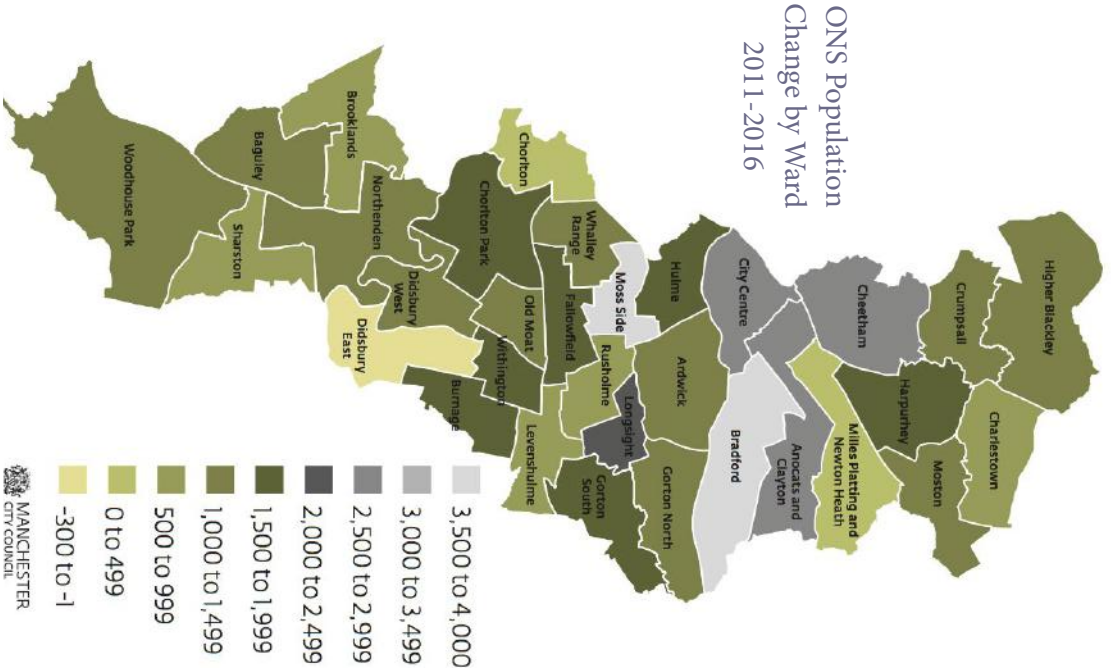
- What is Homelessness
- History
- UK
- Manchester

Population Percentages



[Source: ONS 2011 Census]

Manchester Population



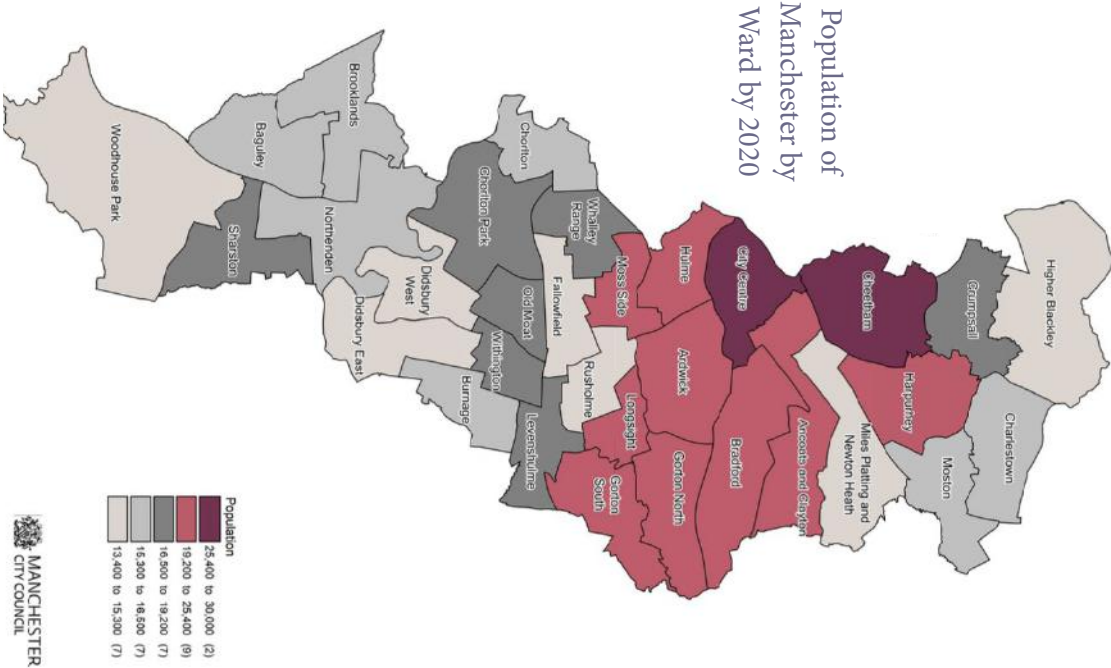
Change in recent years has seen the population of the city grow beyond the 2015 target set in the Community Strategy.

The latest census took place in March 2011 and estimated that Manchester was the fastest growing city outside London, having grown by 19% over the decade, reaching just over 500,000 (503,127).

According to 2011 Census data, Manchester is moving towards:

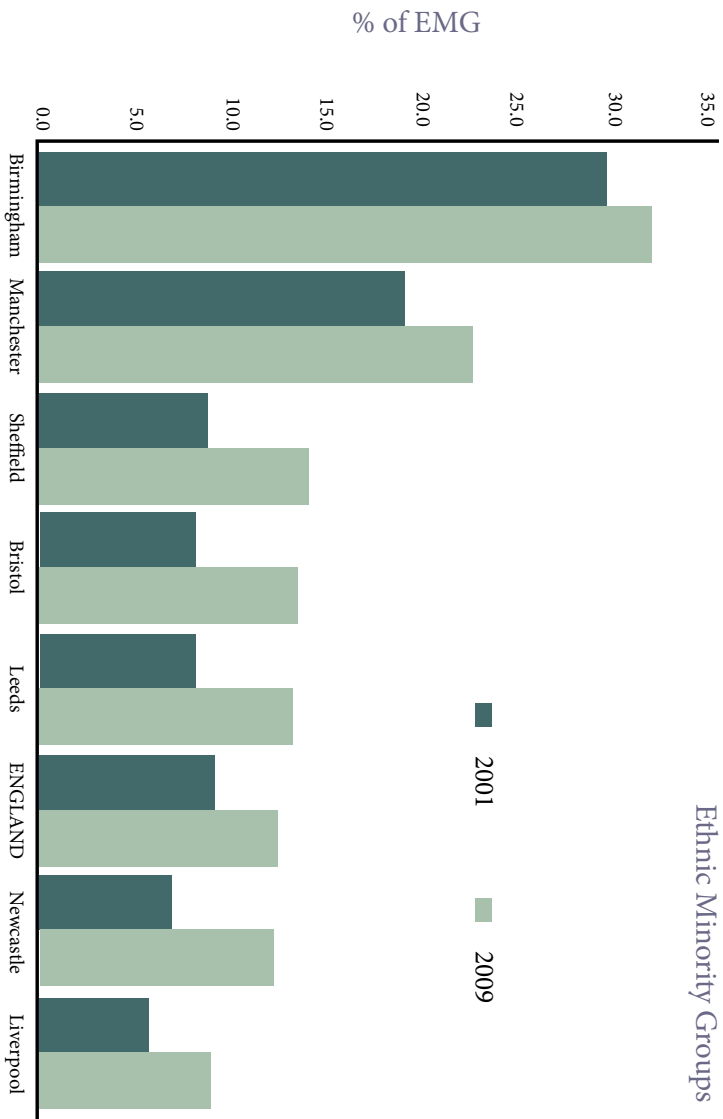
- a) smaller average household sizes
- b) more single people aged under 65
- c) a relative decline in the number of households made up of families with children.

This means the average household size is set to be lower over the next decade and, with the increase in private sector renting, more transient.



[Source: HMRC 2010]

Ethnic Minority Groups



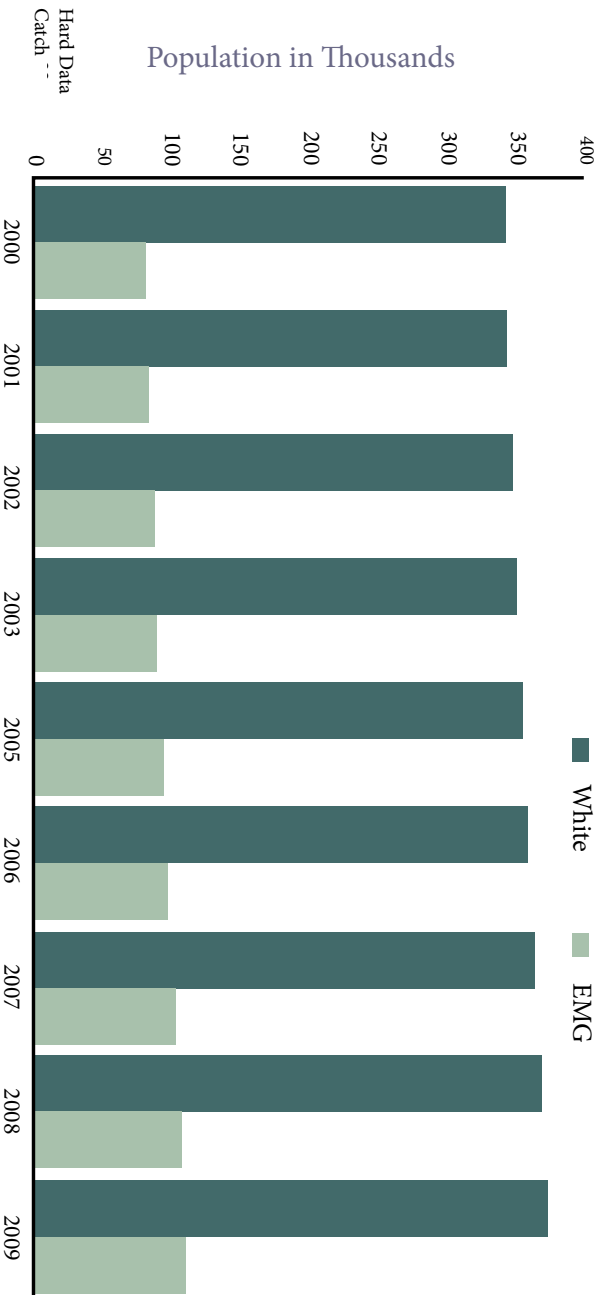
Cheetham is a vibrant and diverse North Manchester ward which is home to residents from a wide variety of faiths, cultures and nationalities. The ward borders Crumpsall and Harpurhey wards to the north and east, Manchester City Centre to the south and Salford City Council to the west.

In 2009, Cheetham ward's population stood at approximately 19,800, an increase of 30.5% since 2001. Population density is higher than the city average, with average household size higher than Manchester as a whole.

In 2007 it was estimated that over half of Cheetham's population belonged to a non-white ethnic group. The Pakistani community is the largest of all non-white ethnic populations, making up 26.0% of Cheetham's total population. Other ethnic groups make up 9.1% of Cheetham's population, with 5.2% of the population from Mixed backgrounds.

There are also significant Indian and black African populations, at 4.6% and 4.0% respectively. 3.1% of Cheetham's population is Chinese, 1.7% is black Caribbean and 0.4% is Bangladeshi.

Source: ONS 2011 Census



[Source: ONS 2011 Census]

Manchester Demographic: Ethnicity

Figure 1. Ethnic diversity in Manchester, 1991-2011

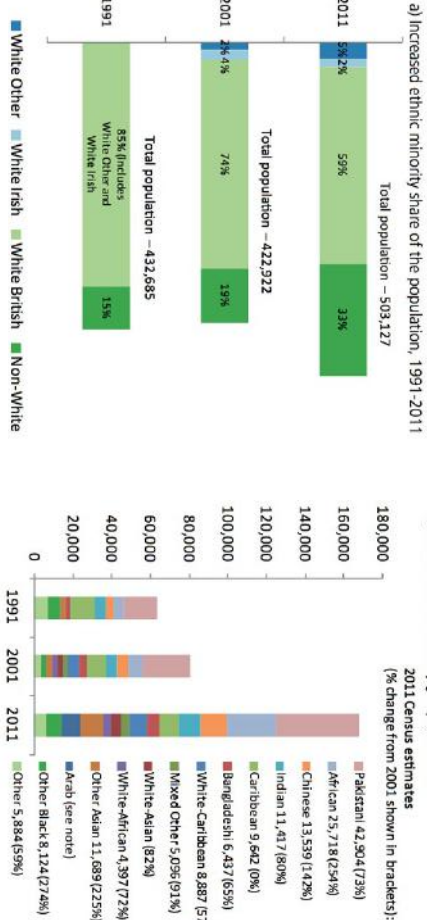
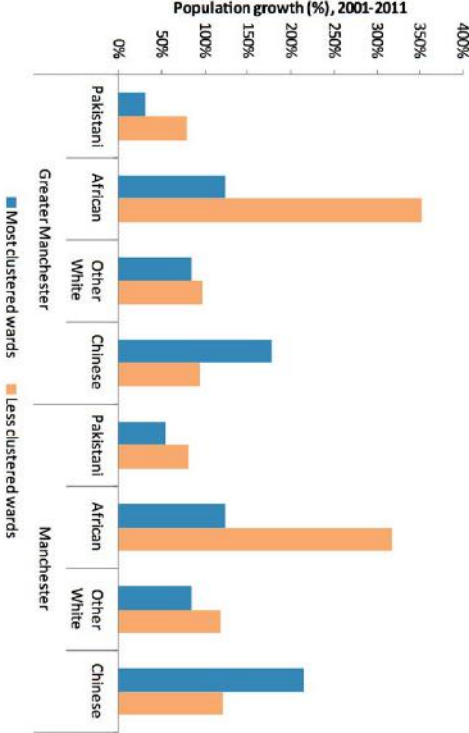


Figure 3. Geographical spreading of the largest ethnic minority groups across wards in Greater Manchester and Manchester, 2001-2011

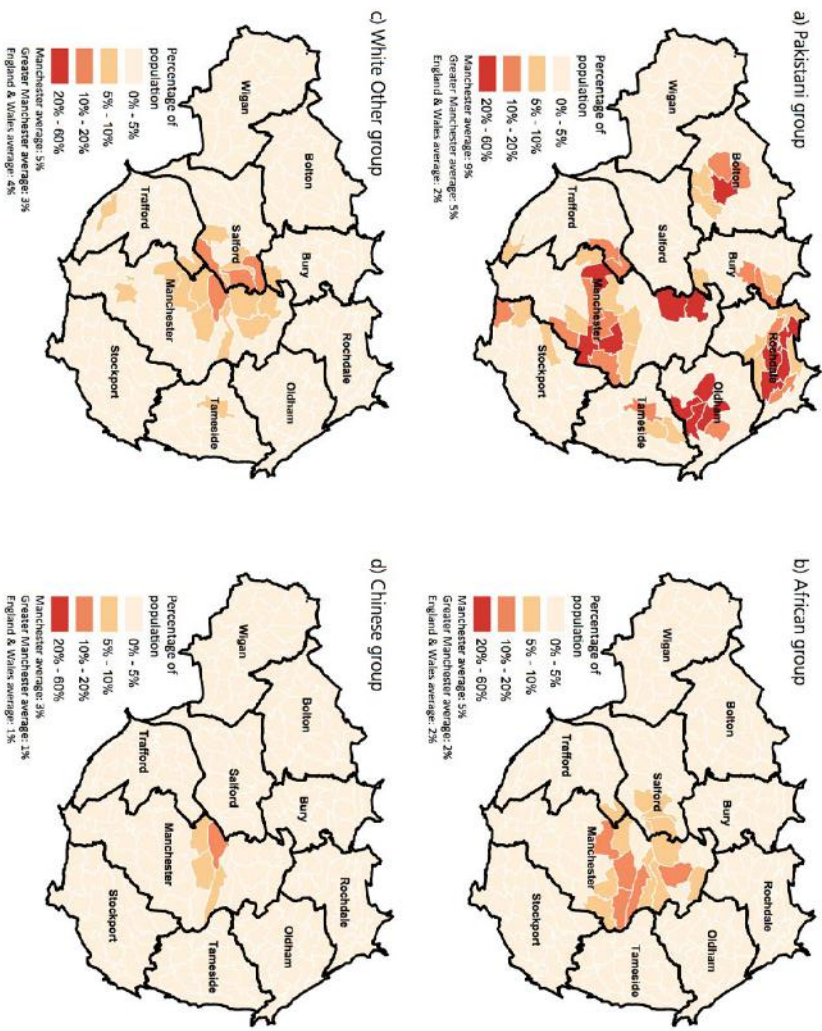


Despite this growth, the White British ethnic group, only measured since 2001, remains the largest group in Manchester (59%) and Greater Manchester (80%).

New measures in the 2011 Census show that Manchester is not becoming less British, despite its increased ethnic diversity. More people report a British or English national identity in Manchester than report White British ethnic identity.

Manchester Demographic: Geographic Distribution

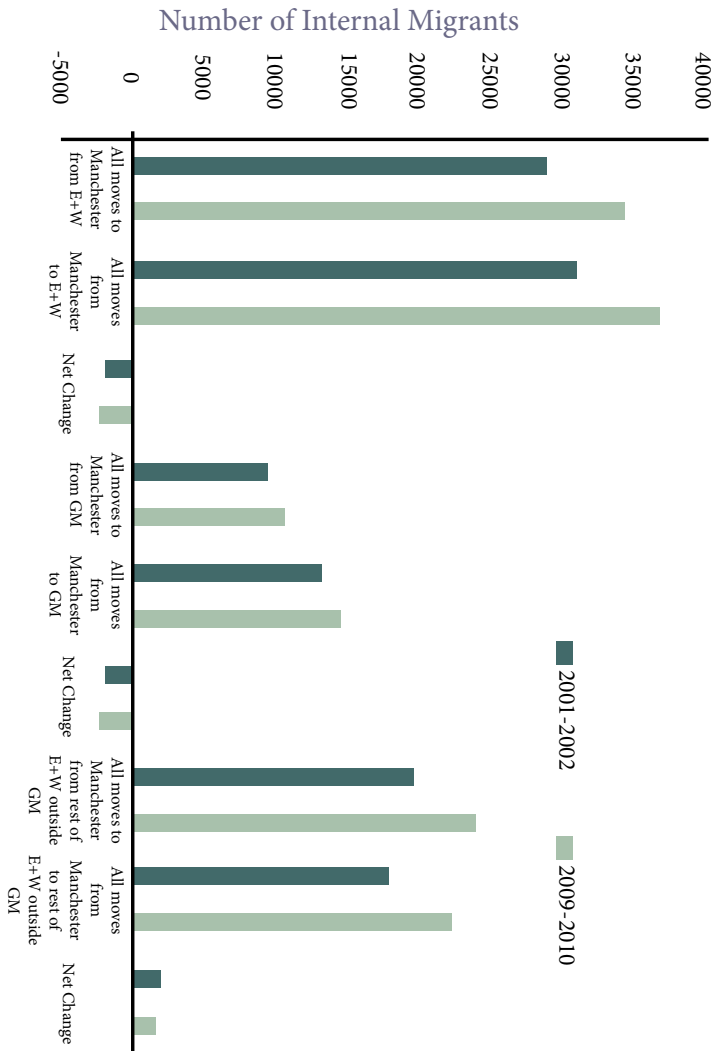
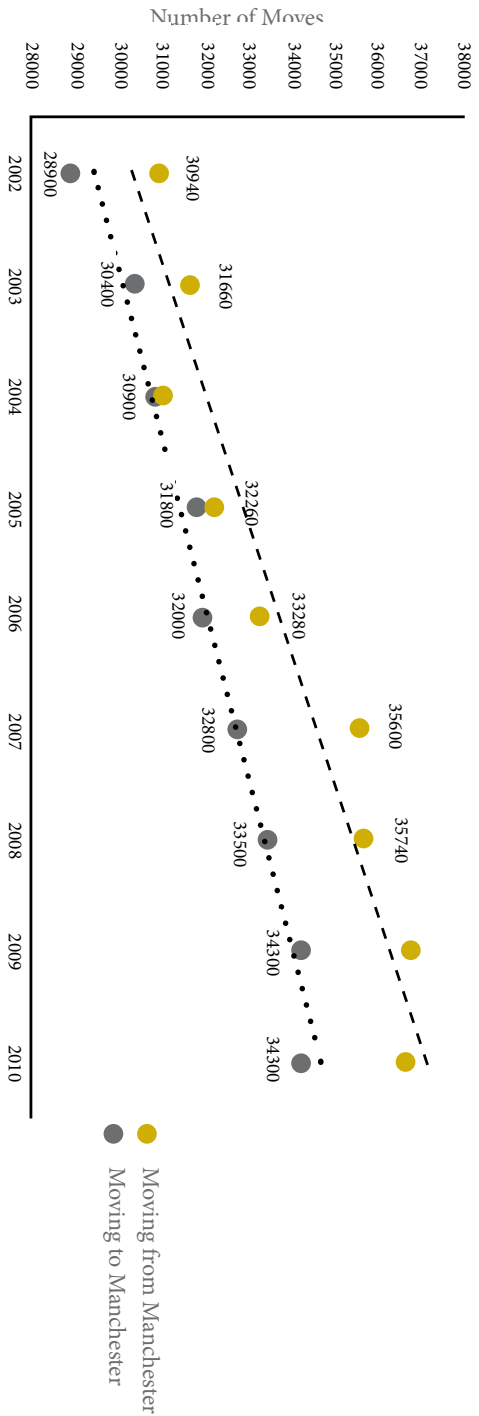
Figure 2. Geographical distribution of the Manchester's largest ethnic minority groups across Greater Manchester by ward, 2011



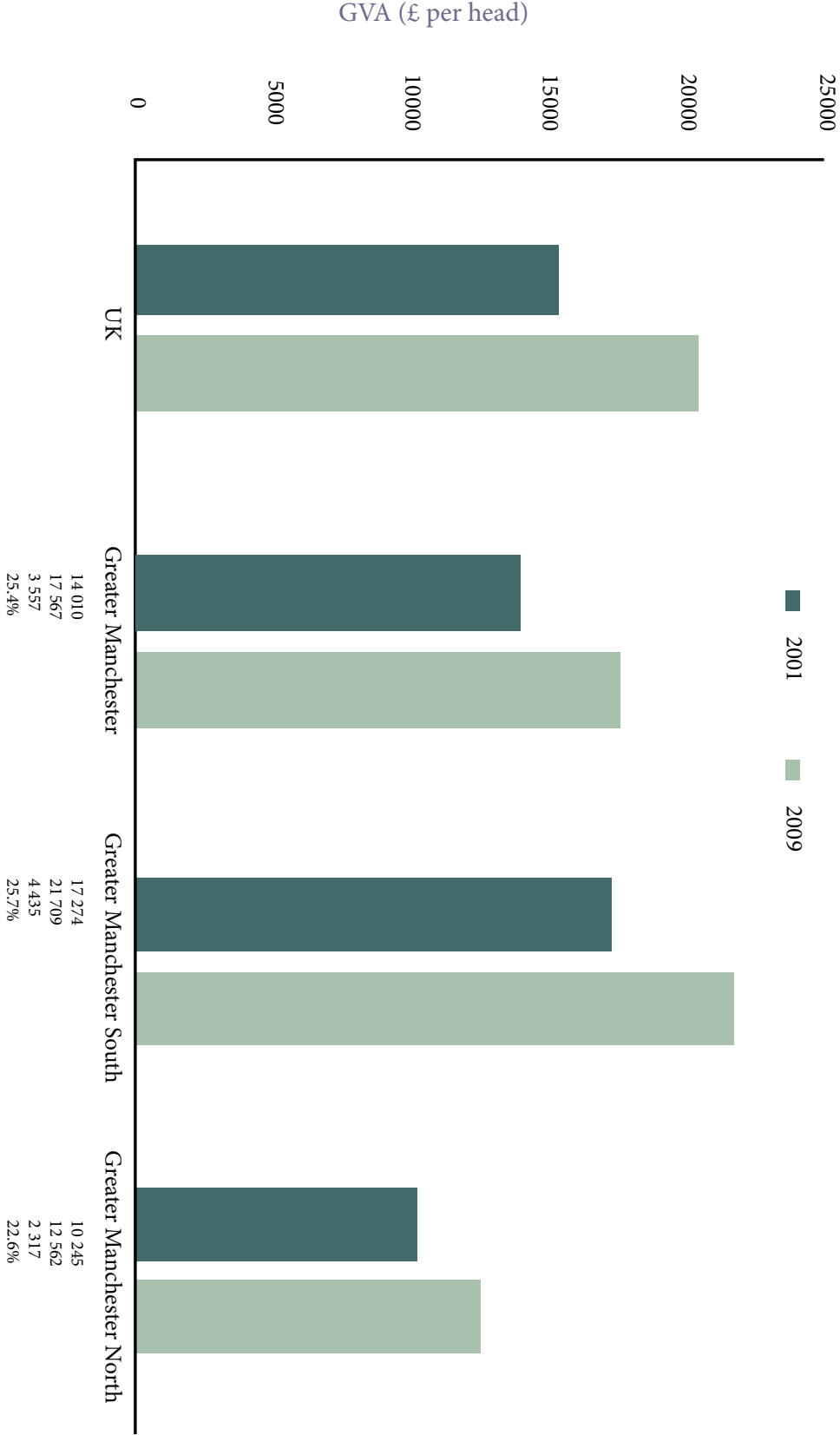
Most ethnic minority groups are evenly spread residentially across Manchester and the rest of Greater Manchester. Pakistani is the largest ethnic minority group in Manchester accounting for 9% of the population. The group is clustered in Longsight and Cheetham.

New measures in the 2011 Census show that Manchester is not becoming less British, despite its increased ethnic diversity. More people report a British or English national identity in Manchester than report White British ethnic identity.

Number of People Moving Manchester To and From rest of England and Wales, 2001-2010

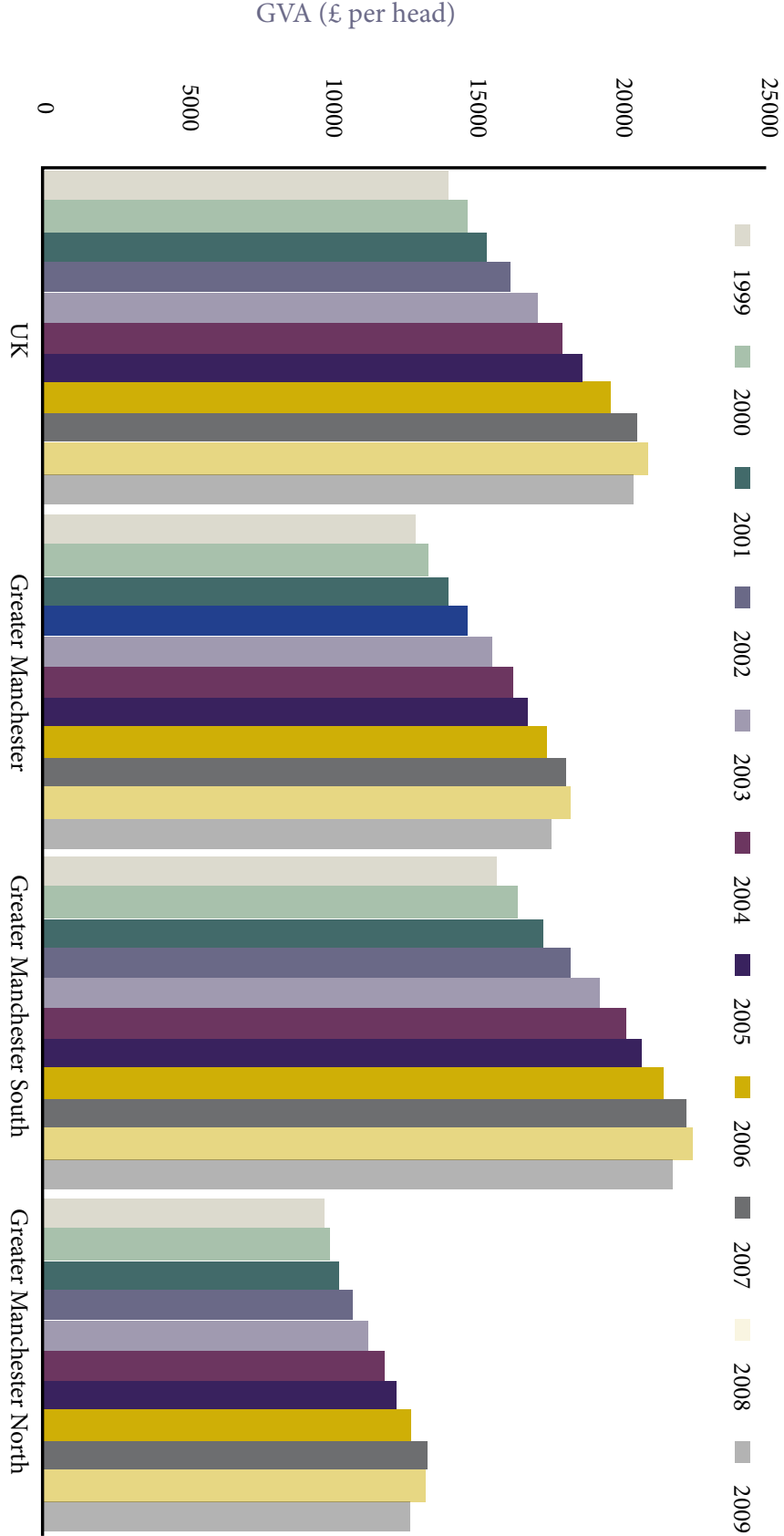


Economy - Gross Value Added



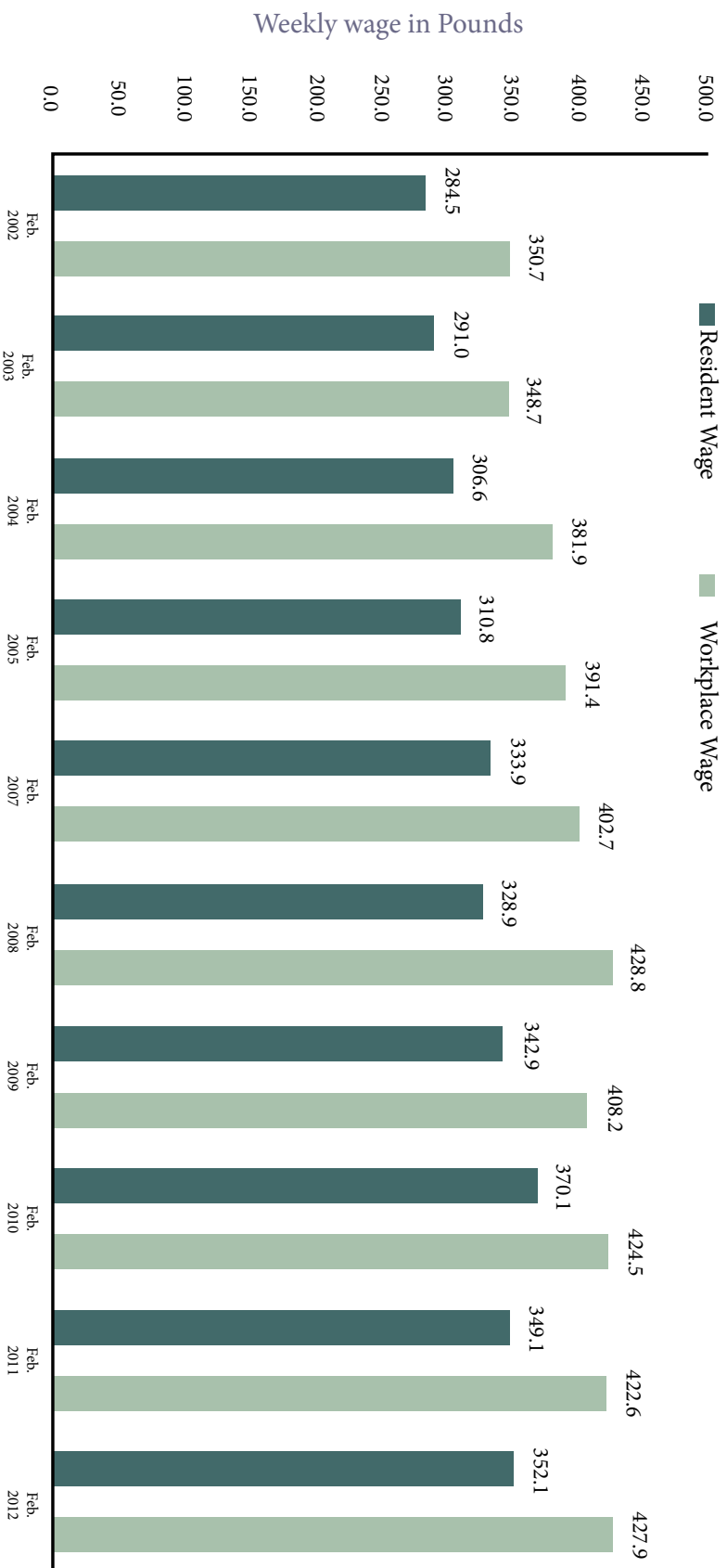
[Source: ONS 2011 Census]

Economy - Gross Value Added

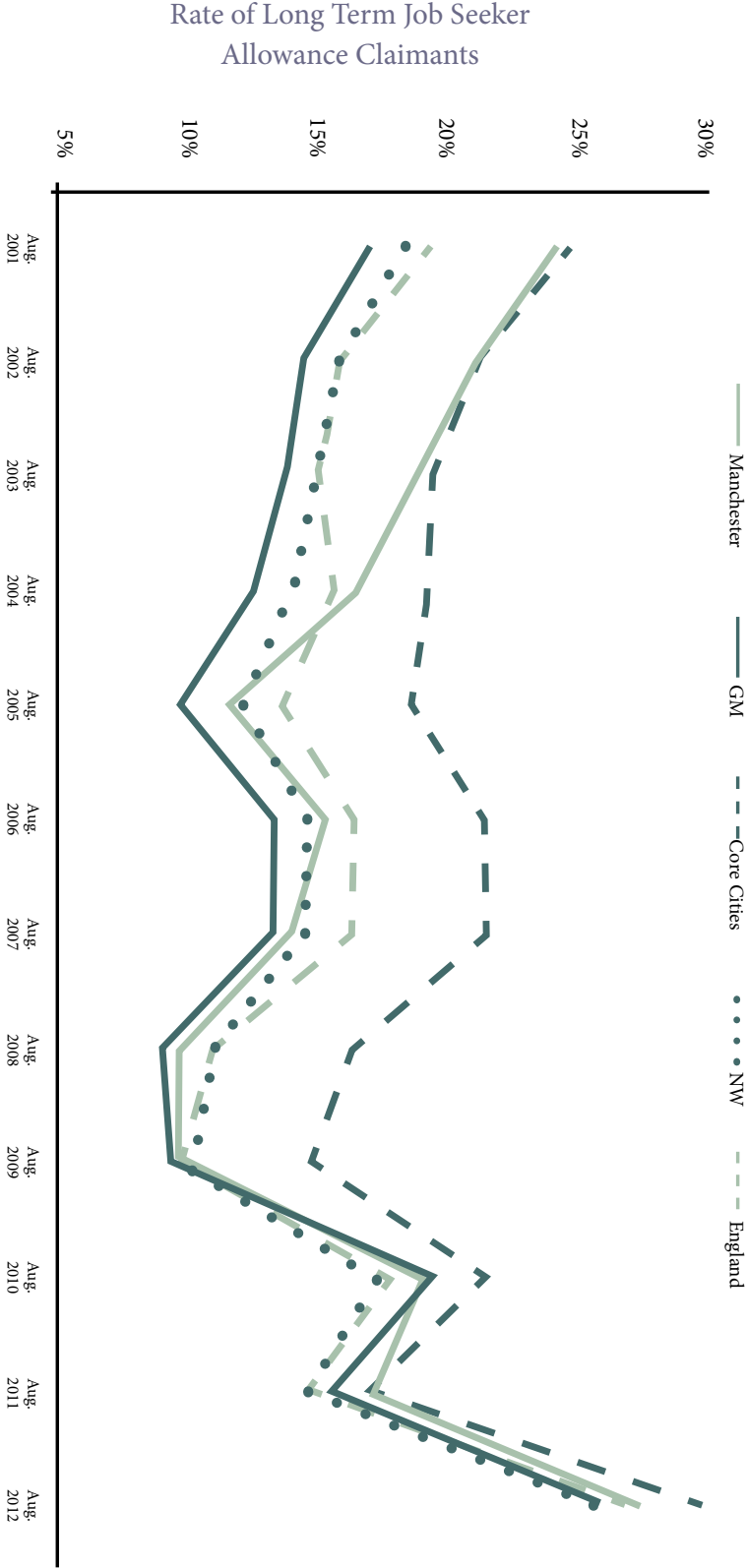


[Source: ONS 2011 MYE]

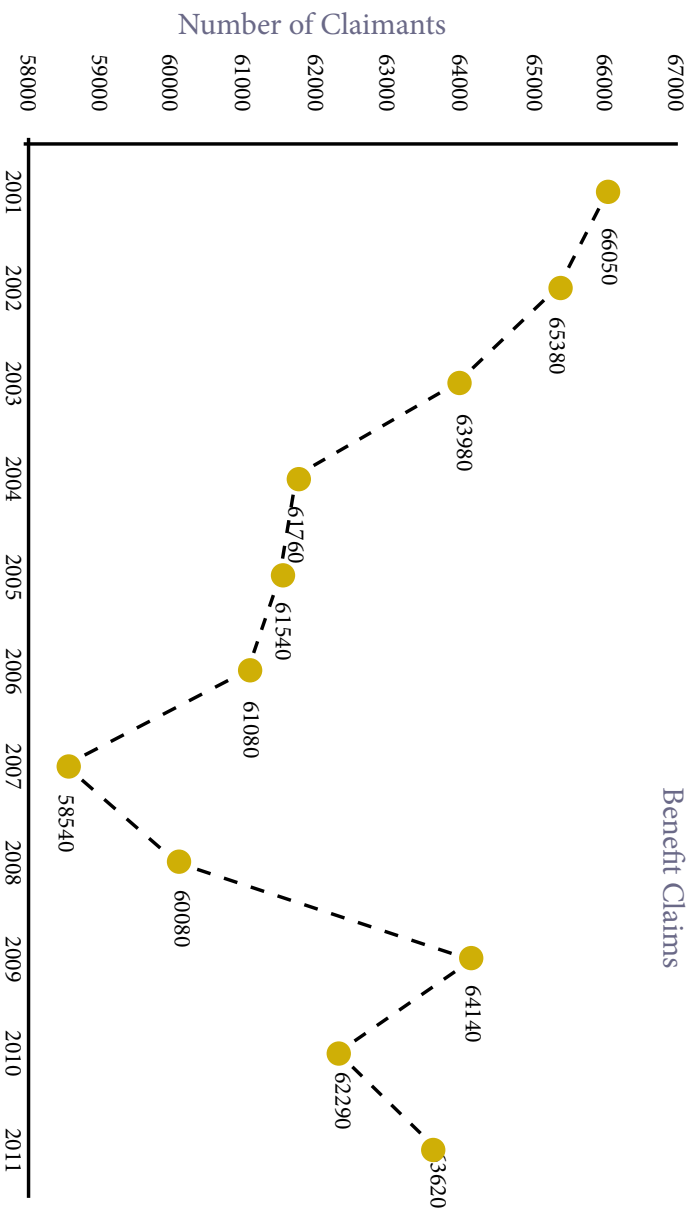
Average Wages



Benefit Claims

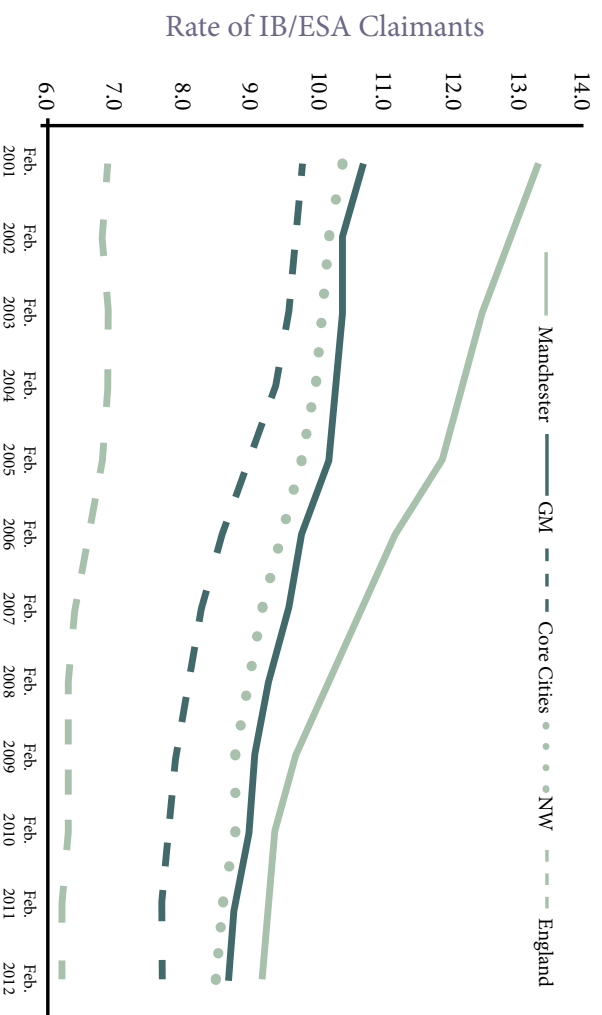


[Source: ONS 2015 MYE]



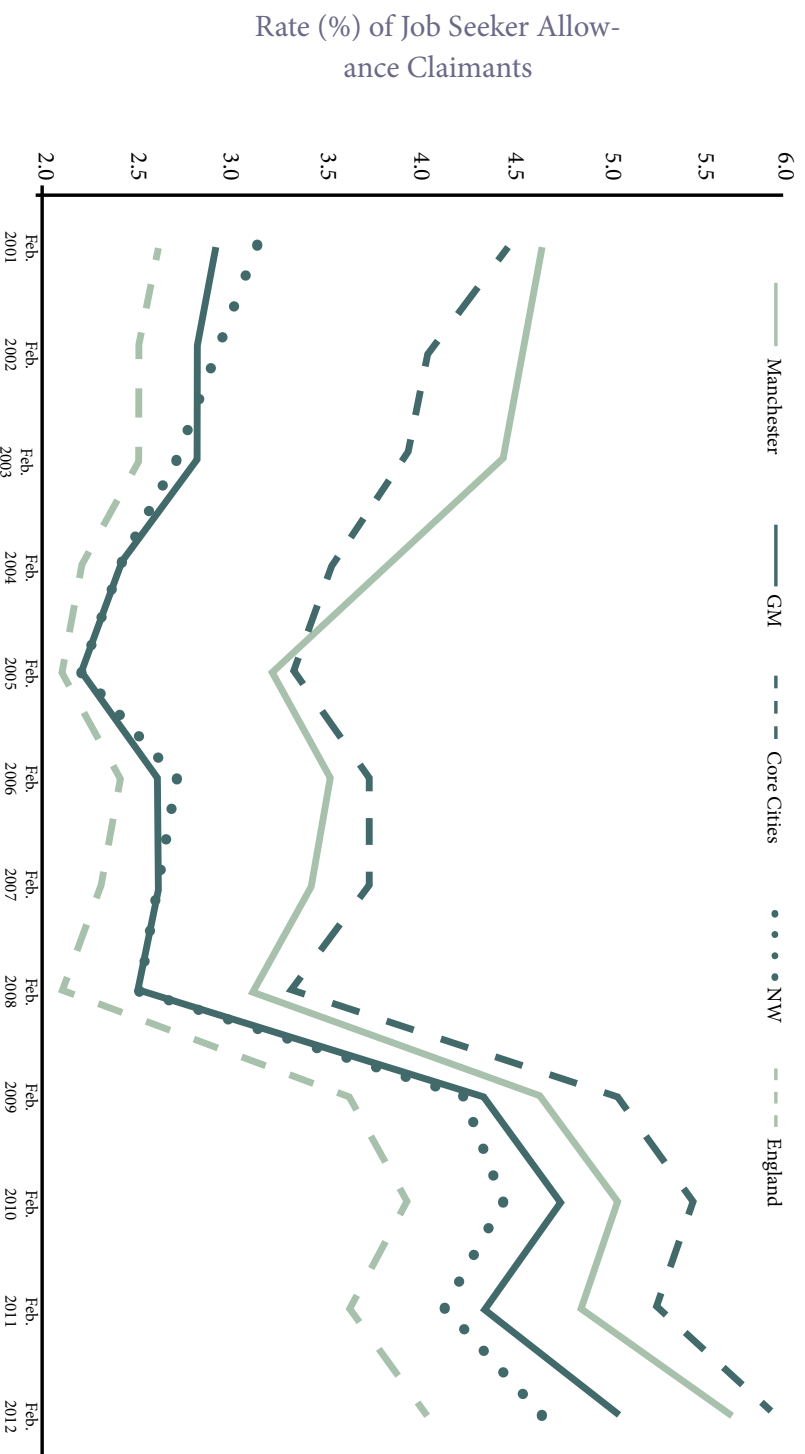
Data shows that Cheetam's population faces many challenges. In 2008, the ward had a higher proportion of children under the age of 16 in poverty than the Manchester average (50.7% compared to 41.8%), and a higher rate than the average for England as a whole.

[Source: ONS 2011 MYE]



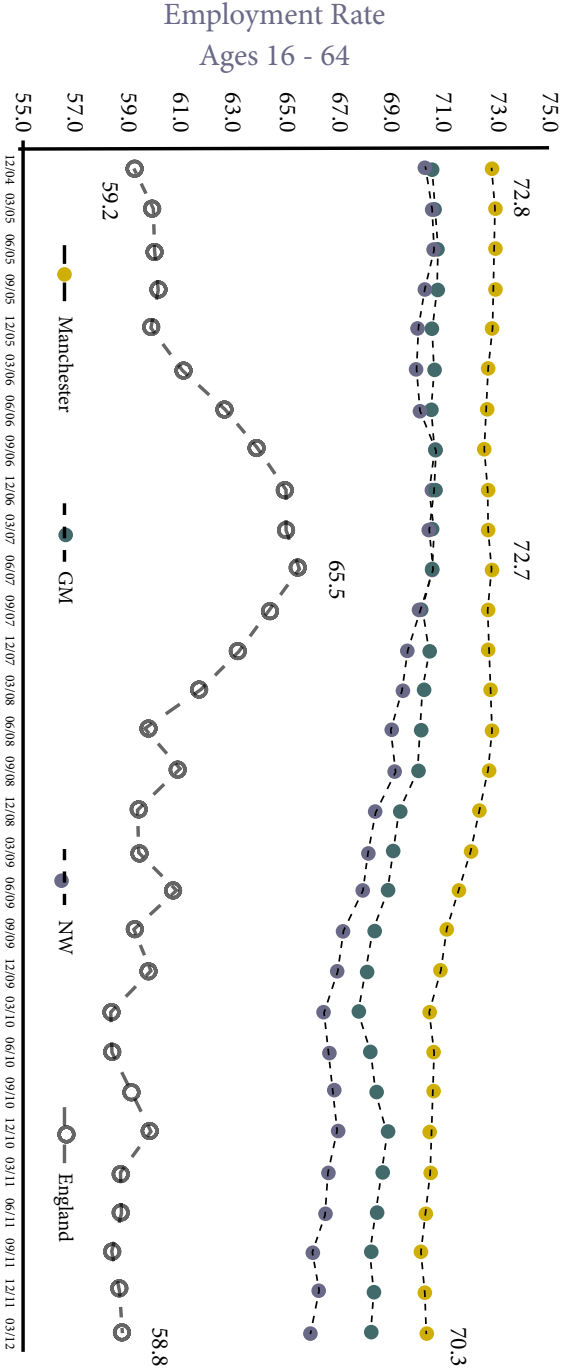
[Source: DWP 2012]

Benefit Claims



[Source: ONS 2015 MYE]

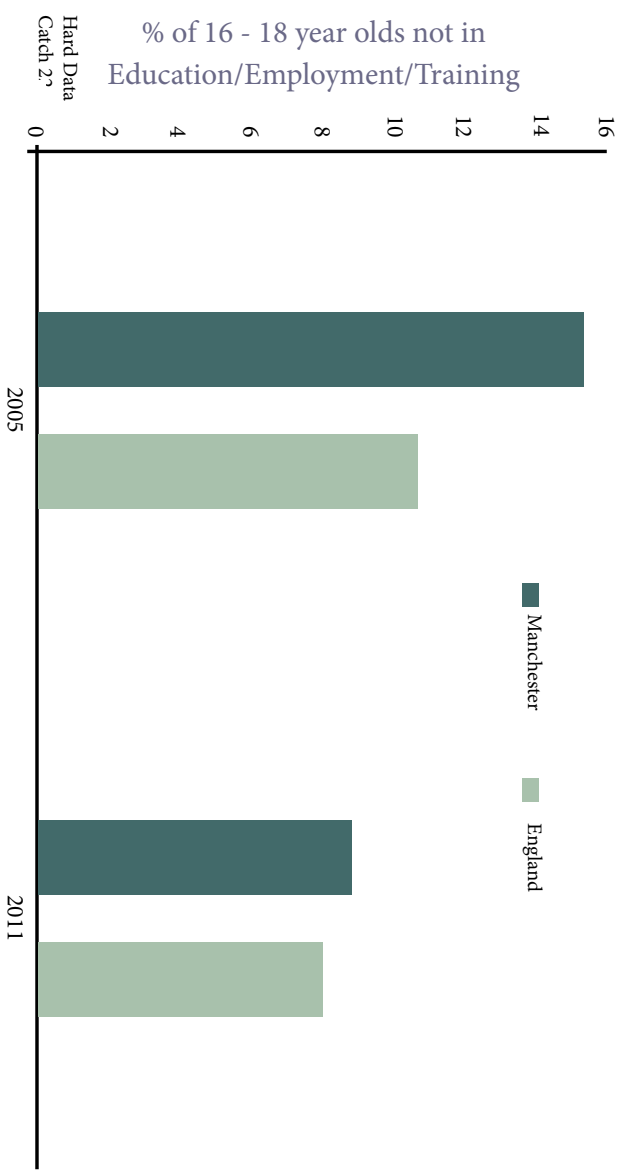
Employment and Training



[Source: APS 2012]

Chetham has the highest concentration of businesses after the City Centre ward, which are mainly in the manufacturing and wholesale sectors (the majority of whom are based in the Strangeways District). However, it has fewer financial and professional services than the City average. 2010. In 2010 a much higher than city average of the wards workers were employed in the manufacturing, construction, transport and wholesale sectors, with lower proportions in the education, financial services and hotel sectors. There are sectors where employment is expected to grow over the next twenty years.

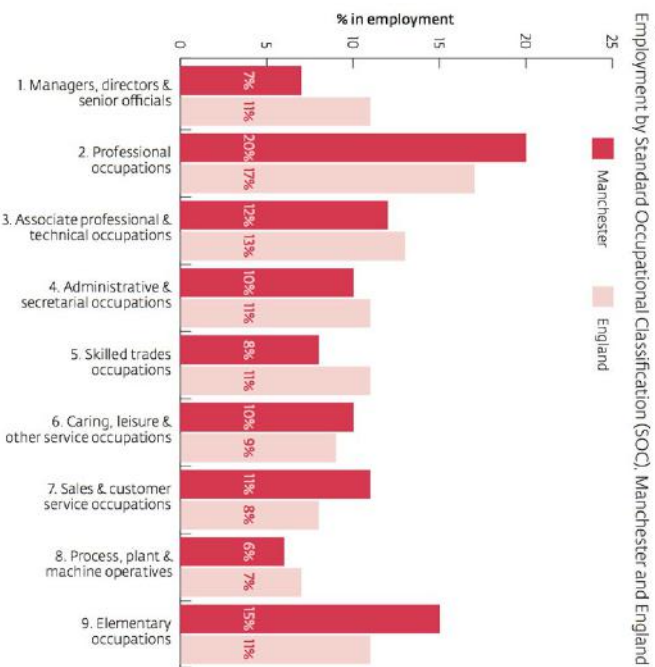
[Source: ONS 2012]



[Source: Connecxtions + Departments for Education 2011]

Manchester Employment Classification

At the other end of the scale, the low skills associated with de-industrialised communities confine a sizeable proportion of the resident workforce to lower-end jobs. Fifteen per cent of working residents are employed in elementary occupations (down from 16.5% in 2001) and 11% in sales and customer services (up from 8% in 2001).



The skills profile of residents varies considerably across the wards, with the percentage of residents qualified to level 2 or above ranging from 44% in Miles Platting & Newton Heath to 92% in the City Centre (Figure 5.16), according to the 2011 Census. 13

The Devolution Agreement gives us some control to improve outcomes for both learners and employers through adult skills funding; however, there have been national reductions to adult skills budgets

Figure 5.16
Percentage of residents (aged 16+) qualified to level 2 and above



[Source: ONS 2011 Census]

Manchester Employment Provision

Manchester is expected to generate 39,000 new jobs by 2023.

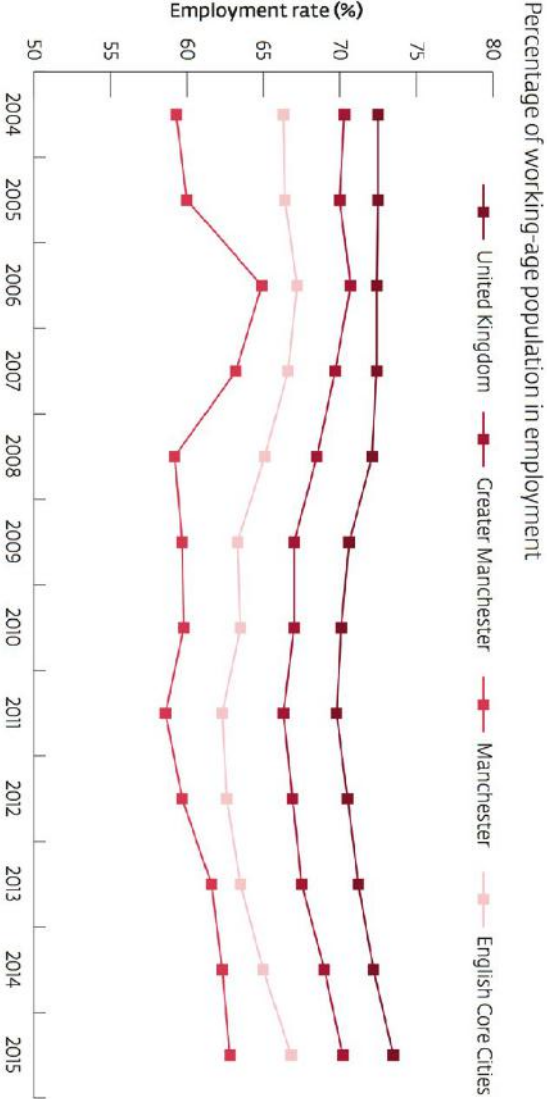
Growth sectors such as construction, customer service and tourism will increase demand for migrant labour to take up entry level and minimum wage roles.

Manchester also continues to have an attractive wage to housing costs ratio compared to many other larger urban centres and a strong international profile led by sports and culture, particularly across the EU.

Questions remain:

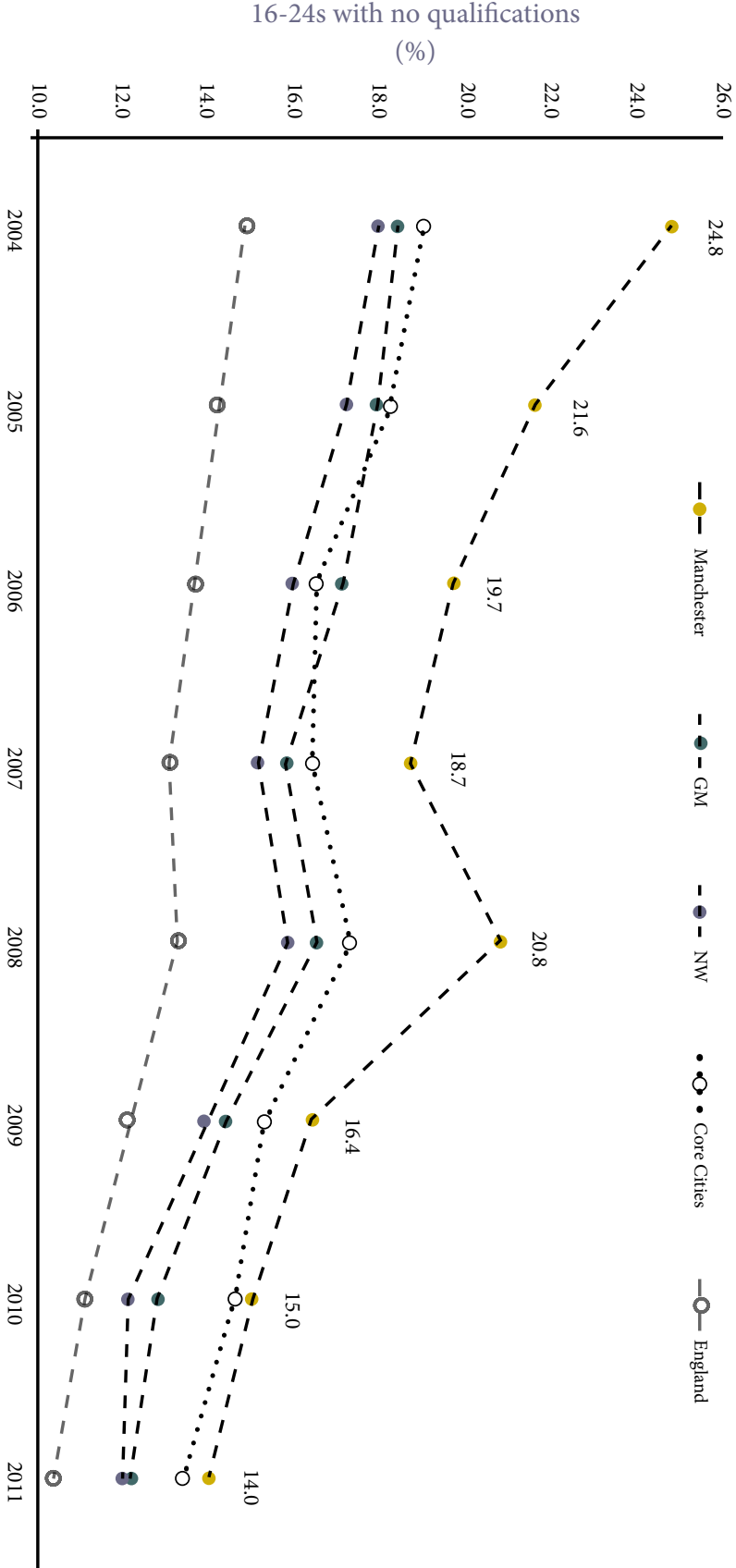
Untraiised immigrants coming to the city are often linked, initially, to short term and unregulated jobs. Short-term migrants (typically here between 3-12 months) often do not appear in the estimates or projections.

There are currently limited data regarding these individuals (ONS estimated 2,610 in 2010), but they are still dependent on services and need to be housed, albeit on a short term basis in the city. With a global trend of migration and urbanisation, this challenge is shared across Core Cities in the UK and other international cities, particularly in Europe.

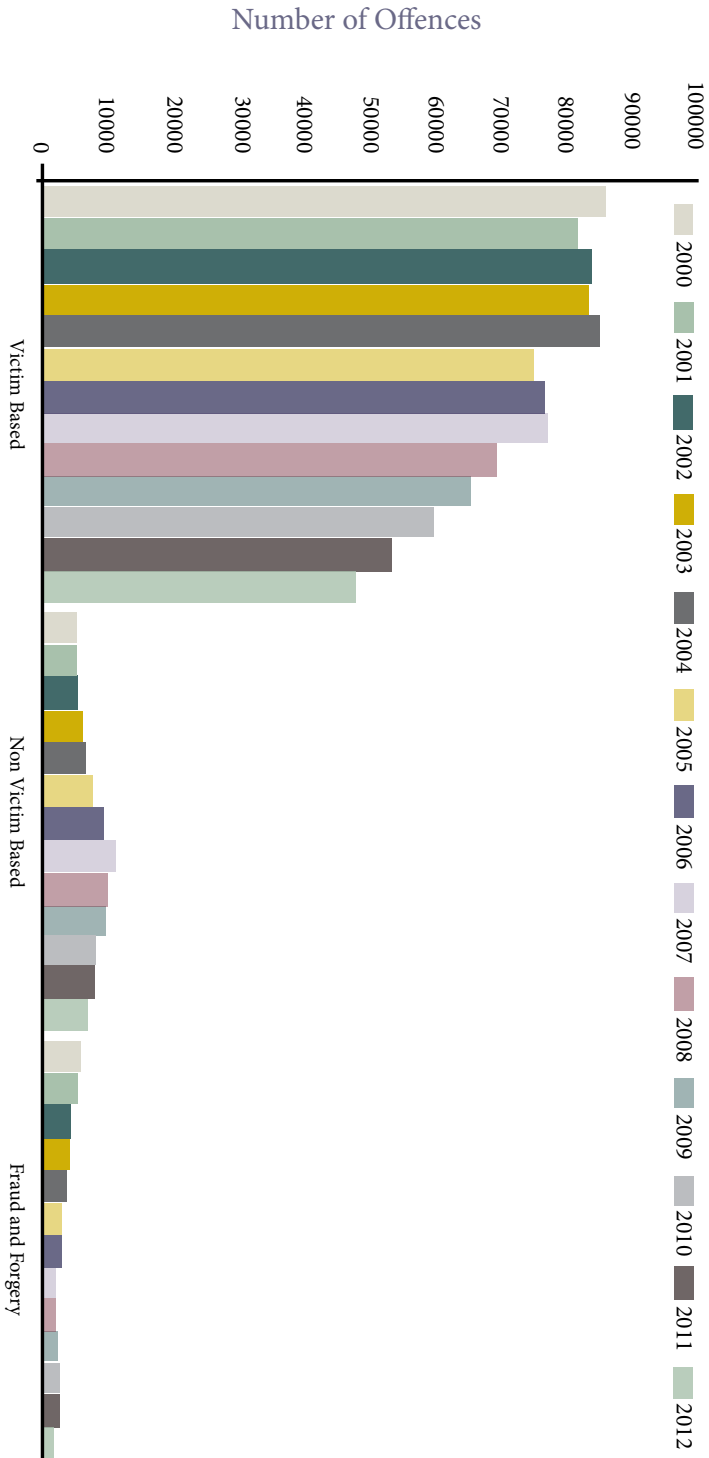


[Source: ONS 2015 MYE]

Qualifications



Crime



[Source: GMP Business Intelligence 2012]

Typologies and Housing

Regular telephone surveys continue to gage the views and opinions of residents about their local area, public services and their lives. The 2011/12 survey showed that 77% of respondents were satisfied with their local area as a place to live, slightly higher than the 75% in 2010/11 and 2009/10.

[Source: Ibid 2012]

Diversity is reflected in the built landscape of the area – mosques, churches and temples are prominent local features, while many of the shops along Cheetham Hill Road are run by and cater for the local South Asian and Eastern European populations. The wider Cheetham area is also home to a range of cultural assets, including the Jewish Museum, the Irish World Heritage Centre and the Ukrainian Club.

[Source: MCC 2012]

In April 2011, private residential properties accounted for 67% of all property, with 33% in the social rented sector (excluding empty properties). This compares with 59% private and 41% social housing in April 2001.

[Source: PRI, Research and Intelligence 2011]



A map of Cheetham Hill showing the social/private housing. Cheetham has a very high proportion of social housing in comparison to other wards in Manchester but still has a 3-5 year waiting list for housing.

[cheethamcommunitywebby.com 2016]



Al-Husein Mosque



Ukrainian Cultural Centre



Salaft Centre



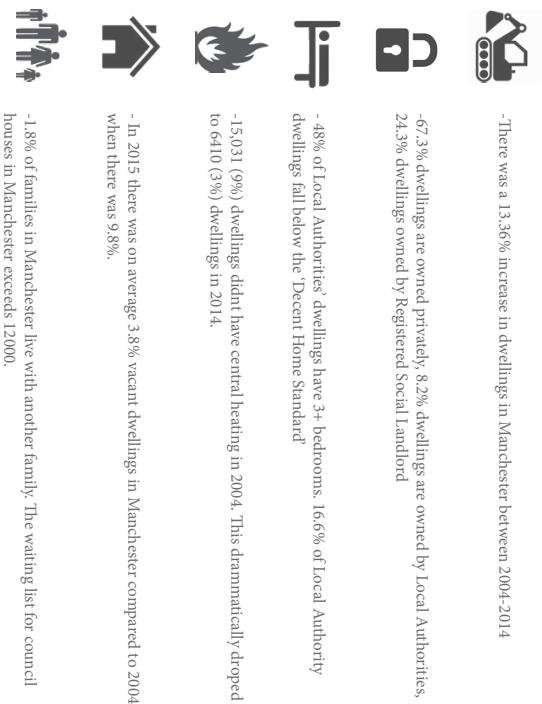
St. Johns Church

Housing Provision

Manchester Dwelling Population Distribution



Facts/Figures on Dwellings



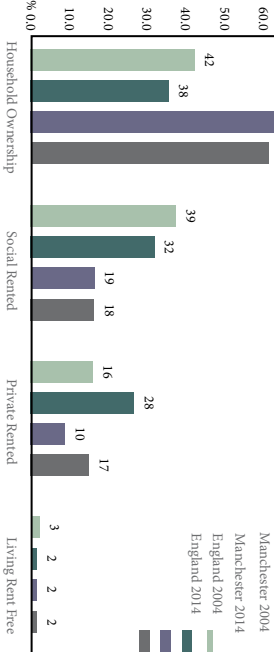
[Source:2004 & 2014 ONS]
[Source:ONS; Neighborhood Statistics; Manchester]

Tenure;

the conditions under which land or buildings are held or occupied



Comparison of Dwelling Tenure from 2004-2014



[Statistic Analysis]

- 7% less households in Manchester live in Socially rented accommodation in 2014 when compared to 2004. :housing stock has been transferred from the Local Authorities to Housing Associations/ bought by Private Landlords.

-The Private rental market saw an increase of 12% from 2004-2014.

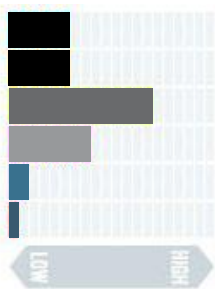
- A significantly larger proportion of households in Manchester rely on social housing when compared to the England average.

-There is a significant difference (25%) between the percentage of people who live in their own owned home in England compared to Manchester, the gap of which has grown over the last 10 years.

[Source: ONS 2014]

Housing Provision

Cheetham Hill Social Housing Availability



The average amount of people per bedroom in Manchester is 1.5 people. In 2004 for every 1000 people 4 lived in an 8+ person house. In 2014 for every 1000 people 6 lived in an 8+ person house.



In 2014 16% of houses have 1 bedroom, which is for 1 or 2 people to live in, but 75% of houses have 1 or 2 people living in them. 8.8% of population reside with 5 or more people per house but only 3.3% of houses have 5+ bedrooms.



There are around 1,250 homes rented out by not-for-profit landlords like housing associations and housing trusts in Cheetham Hill.



For Singles/Couples aged 16-40, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
For Families requiring 2 beds, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
For Families requiring 3 beds, there is nowhere in North Manchester where availability for a council house is greater than 'Low'
For Families requiring 4+ beds, there is nowhere in North Manchester where availability for a council house is greater than 'Average'
(Source: Manchester Move)

[Statistic Analysis]

- The data suggests a large proportion of people are living in houses bigger than they need yet 5.3% are living in house too small.
- There has been a significant drop in the amount of people in absolute poverty from 1997-2013 however the amount of people in relative poverty has fluctuated up and down over the same period.
- There is a continuous problem with housing costs pushing people over the threshold of both relative and absolute poverty.
- The amount of people in poverty residing in social rented accommodation has dropped over the last 12 years. However this is probably due to the reduced amount of social housing available. The increase in people in poverty in private rented accommodation is likely due to the increase in people relying on private rented accommodation due to lack of social housing.

Cheetham Hill Social Housing

- 577 (39 became available to rent in 2014)
- Bungalows:
 - Four one-bed bungalows
 - Three three-bed bungalows
- Flats:
 - 188 low rise one-bed flats (22 became available)
 - 104 low rise two-bed flats (eight became available)
- Houses:
 - 97 two-bed houses (three became available)
 - 129 three-bed houses (four became available)
 - 36 houses with four or more bedrooms (one became available)
- Maisonettes:
 - 16 two-bed maisonettes (one became available)

Housing Policy



Right to Rent

From 1 February 2016

You have this right if you are a:

- British citizen
- Citizen of a country in the EU or EEA
- Citizen of another country with no time limits on your permission to live in the UK (such as indefinite leave to remain)
- You can have a time-limited right to rent if there's a time limit on your permission to stay. This is likely if you have a visa for work, study or as a spouse. It also applies if you have humanitarian protection, exceptional or discretionary leave to remain.



Help for Homelessness

Help is only offered if you have a 'connection to Manchester'.

You have this connection if you have:

- Lived in the area covered by Manchester City Council (see map) for at least six of the last 12 months
- Lived in Manchester for at least three of the last five years
- You have a parent, brother or sister who has lived in Manchester for at least five years
- You work in Manchester.

If you do not have a connection to Manchester, we may be able to refer your application to another authority outside Manchester. If you have a property abroad but you can't live in it. The council may decide you are not homeless if you have a home somewhere else, anywhere in the world. You may be expected to return to a home in another country. However, there are many situations where this would not be reasonable.



Council Houses in Manchester

- All council housing in Manchester is run by independent companies.
- The Local Authority owns the properties, and people living in them are council tenants by law. But all housing services - repairs, rent, rehousing are delivered by the independent companies.
- Northwards Housing manages the housing services for North Manchester, including Cheetham Hill.
- The tenant has the legal right to buy the house they are living in if it is a property owned by Manchester City Council.

Rehousing Eligibility

- Anybody over 16 can apply for a council house

Council Houses are not offered to:

- Certain people from abroad. This includes some people who are British citizens but are subject to immigration control.
- People who have been guilty of unacceptable behaviour including:
 - Tenants owing more than £1000 rent
 - Breaking a tenancy agreement with a not-for-profit landlord, or causing serious damage to a property
 - Being guilty of serious antisocial behaviour or domestic abuse
- Getting a tenancy illegally - by giving false information or paying money for example

Chance of getting a Council House

Your chance of getting a home depends on:



The type and size of home you are eligible for. Some types and sizes are more readily available than others.



Your circumstances in your current home. The more urgently you need to move, the higher your priority. The highest priority in the Manchester City Council rules is Band 1. The lowest is Band 6b.



How long you have had that rehousing priority, called your 'award date'. The earlier this date, the better your chances.



The area you want. In some areas, homes come up frequently. In others there's nothing available for a long time.



How many other people bid for a home. The fewer bidders, the better your chances.

In flats, the age of the youngest person who is moving. Some blocks are reserved for people over a certain age. If you are over that age you should find something more quickly.

- Having lost a home that came with a job because of inappropriate behaviour
- Having an unspent criminal conviction that would make the person a significant risk to local people

Required Documents for Renting a Property

- Bank details
- Recent bank statements
- A letter from your employer confirming that you work for them
- Pay slips
- Employment contract
- Accounts, if you work for yourself
- Proof of benefit awards, if any

Landlords can also ask for references from an employer or previous landlord. If you are renting for the first time, your landlord might accept a reference from a parent or guardian.

Potential Problems with Private Renting

- Not all landlords accept tenants who plan on claiming house benefit to help with their rental costs.
 - Tenancies are usually either 6 or 12 month contracts
 - Letting agents may ask to run a credit check on the tenant
 - Landlords and letting agents usually ask for at least one month's rent in advance and a deposit of one month's rent. Agency fees are also often applied if the property is found through a letting agent.
- (Source: Shelter.org.uk, 2016)

Empty Properties Manchester

“It can’t be just surviving: you have to fully live.”
(Source: Shelter 2016)

Region	Number of dwellings	Number of dwellings empty	Percentage of dwellings empty
North East	1,196,943	40,708	3.40%
Yorkshire and Humber	2,357,866	77,117	3.27%
North West	3,193,675	109,485	3.43%
East Midlands	2,014,514	55,737	2.77%
West Midlands	2,413,862	63,991	2.65%
East of England	2,590,719	58,197	2.25%
London	3,470,247	56,715	1.63%
South East	3,768,624	84,666	2.25%
South West	2,457,713	63,507	2.58%
England	23,464,163	610,123	2.60%

[Source: Greater London Consultants LTD - Statistics 2014]



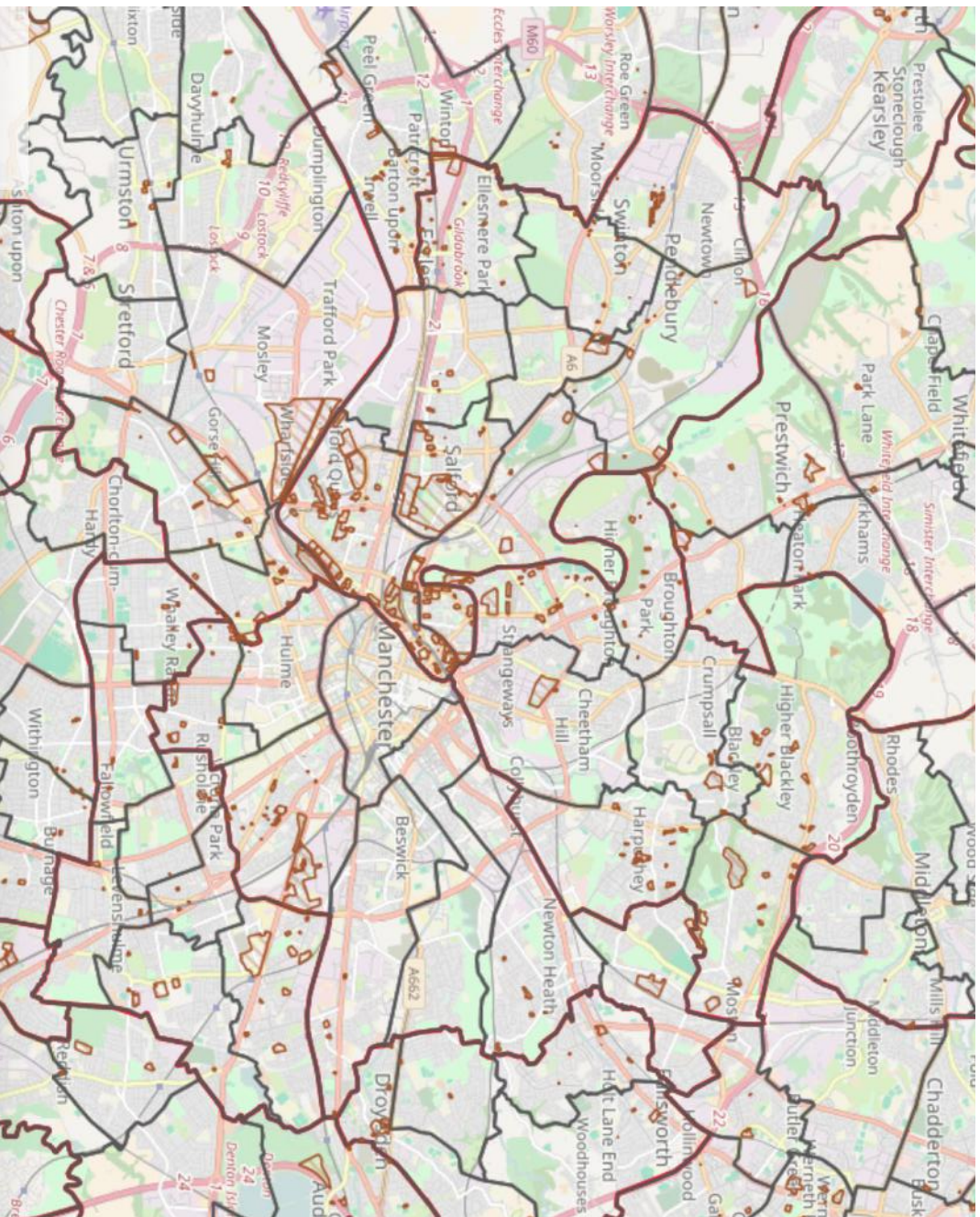
[Source: Shelter 2016]

[Conclusions]

The population of Manchester has risen dramatically between the 2001 and 2011 census yet the housing provision has not risen at the same rate. This has led to an increased problem of overcrowding in houses which caused many homes to drop below the Living Home Standard.

The amount of vacant buildings has also fallen significantly due to the increased demand however this is not a sustainable source for the continuously growing population. The lack of supply is causing many people to live in houses which are in poor condition as they have very little choice. It is also resulting in house prices continuously rising, pushing more and more people to rely on benefits or to fall below the poverty line.

Manchester Available Land (Brownfield)



[Source: MCC 2016]

Housing Market Analysis



According to Valuation Data Agency, there has been a 22.4% increase in rental price in 12 months across greater Manchester.

The average cost of home costing approximately £8,448 annually. This works out at 42% of the average weekly wage.

One third of Greater Manchester's population privately rent, in the city center this increases to 80%.

Between 2001 and 2011

Home owner occupation decreased by 37%

The privately rented market has increased by 28.4%

People in Council Housing has increased by 13.5 %

and social housing by 18.1%

According to inside housing, 30% of Manchester homes is social housing. Home ownership makes up 40%

INCREASE HOUSEBUILDING ON NEW AND EXISTING SITES
IMPROVE QUALITY AND SUSTAINABILITY
INCREASE OPPORTUNITIES
IMPROVE FAMILY HOUSING
PROFESSIONAL PRIVATE RENTAL SECTOR
IMPROVE RETIREMENT LIVING

Cheetham Hill is now part of the Cheetham and Broughton Partnership, a scheme which aims to improve the environment, economy and housing, and the area has undergone extensive remodeling since 2002, with new pavements, road surfacing, parking, lighting and CCTV, and a fast-track bus lane.

With the population continually increasing (increase of 80,202 people between 2001 and 2011) the housing market continues to struggle with under-supply. Momentum of home building diminished significantly in the recession with lows of residential completions in 2011/2012 of 960 homes compared to 5,412 in 2007/8.

This leads to an interesting result where due to the increase in population some areas such as Longsight where only 181 properties have been built despite a rise of population 3,600 people between 2001 and 2011 the number of vacant properties has halved since 2007, with a significant need to redevelop existing properties.

In 2015 £300M was awarded by Homes and Communities Agency to improve the housing situation in Manchester. Since then a significant portion has already been utilised developing 1,100 homes. One of these developments, Charnister Drive of 23 units, lies in Cheetham Hill. The ambition is to build 25,000 homes by 2025 by building large high density developments in the North and East of Manchester.

Along with this funding, according to Manchester City Council Chief Executive, Sir Howard Bernstein (who grew up in Cheetham Hill) 'The council have made "priorities for support rebuilding and re-provision."

The council seek to remodel social support by combining housing and social care and remodeling supportive housing.

[Source: Valuation Data Agency 2016]

Extant Actors



The average asking rent was £595 a month across all types of property in September 2014. For somebody renting a room in shared accommodation, the average asking price was £325 a month. (Source The Valuation Office Agency)



Average house prices in Manchester are just over £150,000. In Manchester, you now need to earn £34,420 a year to afford a typical mortgage.



Many ex pats struggle to find a bank happy to give them a mortgage for a property in the UK



Housing Benefit

You may be able to get Housing Benefit if you are on other benefits, work part-time or work full-time on a low income. You cannot get Housing Benefit to help with the costs of a mortgage or home loan.

If you or your partner have more than £16,000 in capital you will not get any Housing Benefit, unless you are getting guarantee credit part of Pension Credit.

If you or your partner have capital of over £6,000 then you will be assumed to have some income from that capital.

If you or your partner have reached the qualifying age for Pension Credit and you have capital of over £10,000, you will be assumed to have some income from capital.

If you are getting Income Support, income-based Jobseeker's Allowance, or income-related Employment and Support Allowance you will automatically be within the income and capital limits for Housing Benefit and you will qualify for the maximum amount.

Northwards Housing

Not-for-profit organisation that manages over 13,000 homes across North Manchester.

Demographic of Residents:

- 60% Female tenants
- 20% Over 65s tenants
- 26% Black or minority group tenants
- 30% Disabled tenants

General Statistics:

- 84% of customers are satisfied with the overall service
- Tenants are given basic advice for carrying out simple repairs themselves. If it is not a problem they can resolve themselves the 'handyman' service is given a not-for-profit price for the work.

Average re-let time is 36.5 days

[Source: Northwardshousing.co.uk]

Housing Benefit Allowance

Property	Weekly amount
1 bed room (or shared accommodation)	Up to £260.64
2 bedrooms	Up to £302.33
3 bedrooms	Up to £354.46
4 bedrooms	Up to £417.02

[Source: Northwardshousing.co.uk 2016]

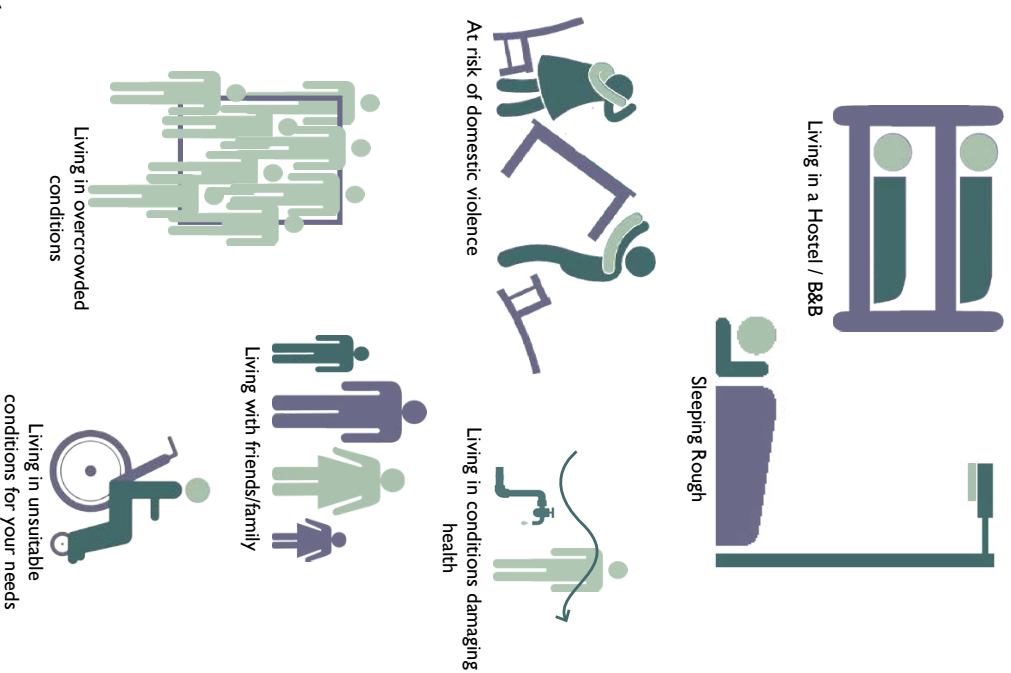
Job Seekers Allowance

Entitlement	Amount	Procedure	Timescales	Problems	Solution
<ul style="list-style-type: none"> - 18+ years old - Under State Pension age - Not in full-time education - In England, Scotland or Wales - Available for work - Actively seeking work - Work less than 16 h/week 	<ul style="list-style-type: none"> 18 - 24 up to £57.90 25+ up to £73.10 Couples (both 18+) up to £114.85 	<p>Jobcentre plus will arrange an interview after an application has been received.</p> <p>For this the following will need to be provided:</p> <ul style="list-style-type: none"> - P45 - 'primary' identity document - 2 'secondary' identity documents - one to prove your address and the other to prove your date of birth <p>Following this, if successful payments are made every 2 weeks into a bank account</p>	<p>It takes 10 working days to process a claim. Once the claim has been accepted it takes 3 working days for money to be deposited to the bank account.</p> <p>"Time frames vary considerably between areas - six weeks is certainly not unheard of, I have seen cases taking up to three months." (dnrg24 2011)</p>	<ul style="list-style-type: none"> - May not fit entitlement criteria - Amount may not cover the rent charged by landlords - Individual may not have an address to be able to provide to Jobcentre Plus - Individual may not have a bank account - Housing status may be more urgent than the standard time taken to process a claim - It could take a significantly long period of time before any payment is received if there is some problem with the processing of the application 	<p>Eight individuals that fall off the spectrum in this sense will have the opportunity to work in the workshop and live in the housing provided on site. They will have the opportunity to build up skills in the workshop which will benefit them in their job applications, and meeting the criteria for JSA. They will also have a place to call home for approximately 3 months, however this can be negotiated if for some reason JSA has not been set up before then.</p>

(SHIPSHAPE 2011)

What is Homeless?

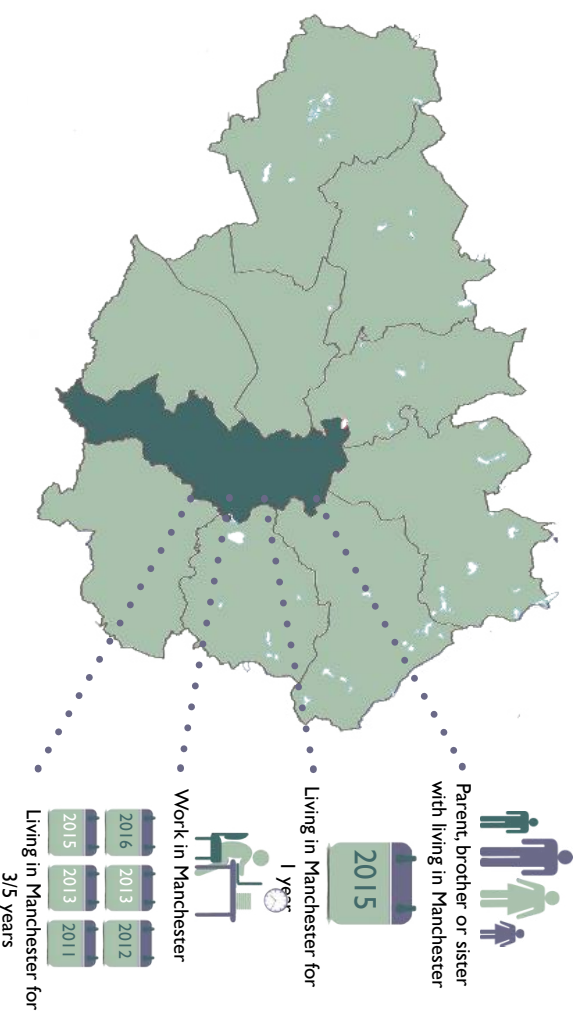
Homelessness does not just describe people sleeping on the streets. It can happen to anyone, for any number of reasons. Even if you have a roof over your head you may still be homeless. You may be homeless if you are:



Homelessness
Catch 22

Help for Homelessness

Help is only offered if you have a 'connection to Manchester'.



[Source: Shelter (2016) What is Homelessness? Available at: http://england.shelter.org.uk/get_advice/homelessness/homelessness_-_an_introduction/what_is_homelessness (Accessed 16.11.2016)]

[Source: Shelter.org.uk 2016]

There has been a 6 fold increase since 2010



Sleeping rough is said to have increased due to durable tents and sleeping bags becoming cheaper and more available. [Source: Guardian, 2016]

UK Homeless Accommodation Statistics

17,000 20,000

1930 1967 1967 1980 1988 1990 2000

New legislation prevented 16 / 17 year olds from claiming housing benefit
Dorms for homeless closed and single rooms opened - the better standards resulted in a shortage of beds
Increase in drug, alcohol dependency and mental health problems only exasperated the situation
Housing act excludes most single people from a right to housing
Crisis founded

Manchester Sleeping Rough Statistics

10 43 70
People

2011 2014 2016

Homelessness across the UK

“The longer someone sleeps rough, the greater the risk that they will become trapped on the street”

(Source: Homeless Link H 2014)

A shrinking sector

The capacity of the homelessness sector has continued to decline, with the number of accommodation projects at its lowest since SNAP 2009 (down 11%), and the number of bed spaces the lowest we have reported since SNAP started in 2008 at 39,638. There has been a small increase in the number of day centres over the past two years, increasing by 10 (5%) since SNAP 2011, and more people on average are using day centres. This may reflect efforts by faith groups and others to support those in obvious need in their communities at a time of high unemployment and growing hardship.

Less specialist support

The homelessness sector helps people with often multiple and complex needs, but services seem to be offering increasingly generic support. Nearly one in three clients of homelessness services have alcohol issues, and a similar proportion have mental health problems. A quarter have drug problems – nearly 2 out of every 5 clients in hostels – and a quarter have previously slept rough.

This year's SNAP, however, shows that fewer projects are targeting services at clients with specific needs. Targeting of services to rough sleepers has dropped from 28% to 7%, and targeting to people with mental health issues has dropped from 22% to 4%. This suggests that the sector may be drawing back from providing specialist services to people with specific needs, and perhaps offering a more generic service that does not meet the range of needs.

Restricting support

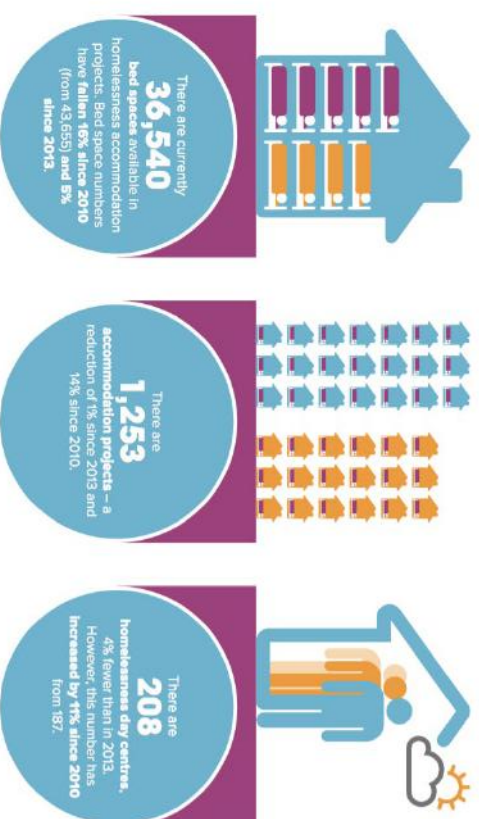
Projects are increasingly refusing access to people who are seen to pose a high risk to staff or other clients, rising from around half of projects in SNAP 2012 to over three-quarters this year. Over half (55%) also refuse clients because their needs are deemed too high. We know that people with multiple needs are often passed between services and are often excluded from many services. It is therefore concerning that there appears to be a trend for homelessness services to be restricting access to this group.

We also found that services are taking fewer clients who don't have a local connection.

Reducing funding

Half of projects reported a decrease in funding this year, although this was slightly less than in SNAP 2012, and nearly three-quarters of the sector remains reliant on local authority funding. There has been a substantial increase in the proportion of projects listing benefit, payments and rent and services charges as an income source since last year: it is concerning that the trend in reduced funding from non-housing sources such as social services and criminal justice has fallen again.

Availability of homelessness services



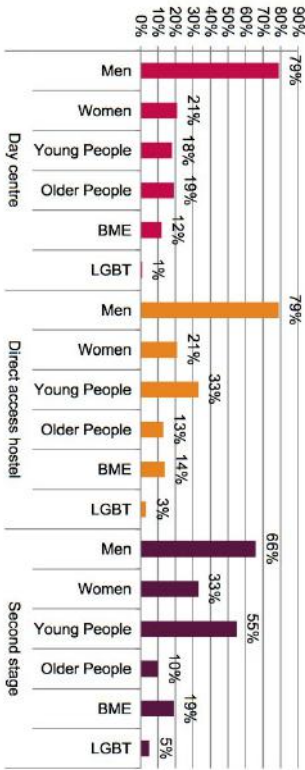
[Source: Homeless Link H 2014]

Homelessness in Manchester

“On average 60 people sleep rough every night in Manchester streets”
(Source: Homeless Link H 2014)

AREA	ESTIMATED NUMBER OF PEOPLE SLEEPING ROUGH ON ANY ONE NIGHT		VOLUNTARY SECTOR PROVIDER(S) SURVEYED
	2011	2012	
Avon & Chichester	25	52	Stonewallow
Bath and North East Somerset UA	4	22	Jullion House
Bedford UA	17	19	NOAH Enterprise
Bournemouth UA	16	11	CRI
Bristol	30	26	Horton HA
Bristol	8	9	St Mungos
Brighton and Hove UA	37	43	Brighton Housing Trust
Derbyshire	35	43	Riverside ECHG
Devon	63	51	Freedom Social Projects, St Petroc's, PATH
Greater Manchester	60	71	Riverside ECHG

22 % increase in people asking for help at Manchester best known homeless charity in the last year. Although it is estimated that only 50% of homeless people are found and therefore the statistics for the level of homelessness is significantly worse than stated.
[source: manchester evening news 2016]



(Source:Support for single homeless people in England:Annual Review 2015)



All areas were able to provide data on client gender. Of the total 4,044 clients the surveyed schemes reported working with, 83% were men and 17% women.

[Source:Various]

Services for the Homeless

Appendix Two – Services for Homeless People

Barnabus: The Beacon	Beacon drop-in centre provides food, advice and educational activities for homeless people and others in need. Street outreach work in the evenings for homeless people, providing food, hot drinks, clothing and blankets and basic medical care. Support for prisoners
Beitel of Britain: Hardy Farm	Residential support for homeless and long-term unemployed people to regain their independence lifestyles. Training for men and women in a wide range of life and employment skills. Residences are drug and alcohol free.
Booth Centre	The Centre is a day centre that offers activities, advice and support to homeless people in Manchester and is usually open from 8am to 4pm Monday to Friday. They provide education, training and advice to enable people to find new homes, improve their health, increase their skills and confidence and to successfully resettle in the community.
Business in the Community	Business in the Community supports people who are homeless or at risk of homelessness into training and Work placements. They also aim to increase the overall level of engagement from businesses in the region, with an emphasis on targeting vulnerable young people and hard-to-reach groups.
Young People's Support Foundation	Support young people to find and secure emergency / longer term accommodation, and to develop independent living skills. YPSF also offer help and advice with benefit claims, budgeting, managing a tenancy, family issues, specialist advice on parenting, mental and physical health, and work and training. YPSF also offers hot food, showers and washing machines during the morning drop-in sessions three mornings a week.
Cornerstones	The Cornerstones Day centre is for people who are homeless, have no settled address or are out off from family and other support networks. Housing advice including referrals to emergency accommodation, pre-tenancy, resettlement and tenancy sustaiment support. Signposting to and liaison with range of agencies for ongoing support. Showers, clothing store. Low cost breakfast and lunch. Access to phones and internet.
Counted In and Cold Weather provision	The service is targeted at the most entrenched rough sleepers and /or those deemed to be most at risk from the winter weather conditions. Service users are supported in accessing appropriate longer term accommodation and other relevant services (Health care, mental health, substance misuse, benefits). Referral is via outreach services only.
Kings Church	Supports people who are homeless or living in hostel accommodation, including help with finding accommodation. Support is also provided to develop independent living skills such as cooking, clearing, setting goals and working to achieve them such as money advice/budgeting, access to work, education and training.
Lifematters, Swan Street Day Centre	Kings Church also work alongside agencies and potential employers and support individuals to guide them into the skills and knowledge they need to move forward.
Lifeshare Weekend Breakfast Project	Supports young people at risk of, or already suffering from, homelessness and sexual exploitation. Provide a cooked breakfast to people in need.
Mustard Tree	Supports people who are homeless, socially excluded or vulnerable, providing food, clothing, furniture and training.
No Second Night Out (Riverside ECHG)	The Mustard Tree also provides and hosts a range of projects aimed at increasing the confidence, skills and motivation of their clients. Second Night Out (NSNO) aims to help people who are sleeping rough for the first time, and find them an immediate alternative, so that they do not need to spend another night on the streets.
The Big Issue in the North	The Big Issue offers a self help option for homeless people who want to secure an income by selling the Big Issue magazine. Support offered to vendors includes advice on welfare benefits, housing, healthcare, drugs and alcohol, education, training, resettlement support and group activities.

Table 5 : Household composition – homelessness approaches.

Household Composition	2007-08	2008-09	2009-10	2010-11	2011-12	2012-13
Families	2223 36.72%	1941 34.73%	1727 31.79%	1925 31.62%	1967 33.34%	1970 33.14%
Singles	3831 63.28%	3648 65.27%	3705 68.21%	4162 68.36%	3932 66.66%	3975 66.86%
Total	6054	5589	5432	6087	5899	5945

Source: MCC Homelessness Data

Table 21: Manchester Rough Sleepers

Year	Manchester Rough Sleeper Count
2008	11
2009	9
2010	7
2011	15
2012	27

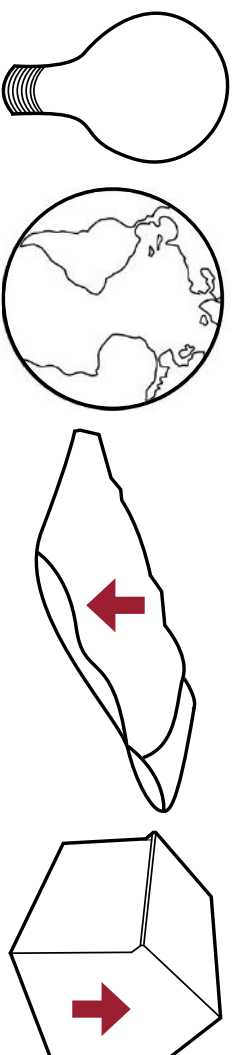
Source: MCC Homelessness Data

When contacted by MM, a Manchester City Council spokesman defended their scheme. A Manchester City Council spokesperson said:

“ 180 people accessed the temporary shelters over the winter, with bus passes issued to people who needed them.

[Source: MCC Homeless Data 2015]

[What the council say]



Vision

Our vision is of Manchester as a world-class city. This includes a city where homelessness continues to reduce year on year

Our vision is also of a city that offers a wide choice of housing options, enabling people to live in their neighbourhoods of choice.

Homelessness Services in Manchester

1. Accommodation schemes owned and managed by the Council
2. Accommodation schemes owned by a registered social provider (RP) and managed by the Council
3. Dispersed, self-contained accommodation procured from the private rented sector (PRS) and registered providers. This provides the majority of temporary accommodation for homeless families.
4. Bed and breakfast accommodation for emergency short-term use only. Additionally, a number of households fleeing domestic abuse (DA) are accommodated in Women's Aid refuges.

Specialist provision is also commissioned for young people through the Homelessness Pathway for 16/17 yr olds. Manchester Move already provides a route into the private rented sector through Let'sHelp You, but we need to further develop access into the private rented sector for households at risk of homelessness. There are other agencies such as Young Person's Support Foundation, The Booth Centre, and Cornerstones.

Homelessness Statutory Duty

Housing Act 1996

- Duty to provide advisory services
- Duty to make enquiries in respect of eligibility and duties owed
- Interim duty to accommodate in cases of apparent priority need
- Duties to people found not to be in priority need and not homeless intentionally.
- Duties to those threatened with homelessness

The 2002 Homelessness Act

- Carrying out a review of homelessness in their area, and
- Based on the findings of the review, developing and publishing a strategy to tackle and prevent homelessness.

Homeless Review

[What the council say]

Homelessness prevention

Homelessness prevention is carried out by the Homelessness Advice and Assessment Team when people approach homelessness services for assistance. It is also carried out by a range of internal services and external providers including advice agencies, voluntary and community sector, and housing providers. Government looked at a number of research studies which suggested that the estimated gross costs of homelessness to government is between £24k - £30k per person per year [DCLG – Evidence review of the costs of homelessness – August 2012]

Rough Sleepers

In 2011 the Government reconfirmed its commitment to end rough sleeping and launched a new strategy – No Second Night Out (NSNO). Greater Manchester was an early adopter of this approach and the Association of Greater Manchester Authorities (AGMA) fund Riverside ECHG.

NSNO has five standards:

- New rough sleepers can be identified and helped off the streets immediately
- The public can alert services if they see anyone sleeping rough so they get help
- Rough sleepers can go to a place of safety, where their needs can be assessed
- Rough sleepers can get help
- Rough sleepers are able to get emergency accommodation and other services they need.
- Rough sleepers from outside their area can be reconnected with their community.

The organisations funded through the homelessness grant. These services include an assertive outreach service, day support services to enable people to engage in meaningful occupation, education and work. These services have been very successful in meaningful engagement with individuals and tackling rough sleeping in the City and this approach can be seen to work.

Focus Groups

The objective of these focus groups was to reach homeless people who may be the most socially excluded often with multiple and complex needs, and who may not always engage with mainstream services. A total of 28 people participated in the consultation. The main points to come out of the session were:

- There are good services for single homeless people, but some people who lead chaotic lifestyles have difficulty accessing services.
- A flexible approach is needed towards services and support – some current ways of operating are not flexible.
- The Comprehensive Spending Review will bring lots of pressures as there will be less money. As funding is reduced, the risk is that services will focus on people who fall under the legislation.
- A one stop shop is needed for homeless presentations.
- It is hard for people to resettle when they have complex needs – there is nowhere for people to move on to.
- Will there be a move towards giving homeless people personal budgets so that they can buy the services they want?

[What the council say]

Priority One

Engagement with partners - We will continue to prevent homelessness, and we will strategically commission and work with our partners to deliver effective, pro-active homelessness prevention services. These services will be targeted, accessible to and be able to respond to the diverse needs of all citizens, providing innovative and flexible solutions.

Priority Two

Improve the range of housing options available to homeless people and people at risk of becoming homeless. Work with partners to develop innovative and creative solutions which will increase access to housing for people in housing need.

Priority Three

We will seek to ensure that homeless services are accessible and effective for all our citizens, by commissioning and developing appropriate services for community groups who may be disproportionately vulnerable to homelessness.

Priority Four

We will work with partners to develop and seize opportunities for synergies across health and homelessness and achieve shared outcomes which will improve the health and wellbeing of homeless people. These will include:

- Improving access to appropriate treatment and health care and reduce unplanned admission to hospital
- Establishing appropriate care, support and accommodation on discharge from hospital and/or secure mental health premises.

Priority Five

We will help homeless people to access opportunities for employment, education and training, and support them to raise and meet their aspirations.

Homeless Rights

[According to Shelter]

Right to emergency housing

Local councils have specific legal duties towards homeless people. These are if you're:

- Legally classed as homeless
- Eligible for assistance
- In priority need

Right to housing help from social services

The social services department of the council may sometimes have a duty to help certain groups of people who become homeless.

Social services may also be able to help you if you have dependent children and the council's housing department has decided that you're not eligible for assistance or that you're intentionally homeless.

Rights to stay in or return to your home

You have the right to stay in your home until you are lawfully evicted. Your landlord must follow the correct legal procedure to evict you.

Right to register to vote if you are homeless

You can register to vote if you have no fixed address. This could be because you are homeless, staying in a hostel or night shelter, in prison on remand or a patient in a mental health hospital.

Right to vote in a General Election

Right to claim benefits

You are entitled to claim benefits if you are homeless. Ask for a Simple Payment card if you don't have a bank account. Your benefits are paid straight to this card. You then take it to a PayPoint outlet displaying the Simple Payment sign (for example in newsagents, convenience stores and supermarkets) to collect your money.

You are entitled to register with a doctor when you are homeless.

You can do this using a temporary address, such as a friend's place or a day centre.

[Source: shelter.org.uk 2016]

Council Failures

[What the people say]

The disused Hulme Library, on Stretford Rd, and the former Beech Mount Children's Home, in Harpurhey, were converted by the Council into temporary overnight accommodation in December.

However the recent closure saw each of the 20-bed-a-night accommodations cease to exist as hubs for Riverside Care and Support to provide mental and physical healthcare – as well as overnight respite.

On the night of the closures, Homeless Rights of Justice's Adam Whelan was providing relief to homeless residents in Manchester city centre, distributing food and hot drinks alongside Joint Veteran Alliance Limited and activist-group Anonymous.

"The accommodation was not open long enough," Mr Whelan told MM.

"Over the past two years the council have shut down many beds. [The temporary accommodation] was too little, too late.

"The Council only provided winter accommodation because we took over a building that ended up being very high profile – the Neville-Giggs owned Stock Exchange.

"As Gary Neville told us we could stay till just after Christmas it made the Council look stupid so they had to do something – but they only provided just over thirty beds in two buildings."

"The council are horrendous, in every different way they are failing [homeless people]," he said.

"One of the problems is if you go to the Council they might say you made yourself intentionally homeless or you are not a high priority as you might be a male over the age of 21.

"Everyone is as vulnerable as everyone else when you are asleep."

This vulnerability undercuts the Council's Neighbourhood Scrutiny Committee 2013 Homeless strategy, which had a stated aim of improving the well-being of the city's homeless residents.

With reports that grants have been cut from £1.2million to £530,000 this year, Mr Nzeribe responded: "With cuts to the Council from the Conservatives, only a strong voluntary sector will be able to take up the slack.

"The Council has done lots to support business. It should put that same strategic thinking into supporting Manchester charities."

Deyika Nzeribe, Green Party

This shortfall is being tempered by the charity of individuals like Salford-born David Minshull – an ex-homeless veteran who now provides a contact point for vulnerable veterans and the homeless.

"As Manchester is a big city, people from all over the country will come here but the council might say to them that there's no connection [to Manchester] and there's nothing we can do for you.

"It's a Catch 22, most of the guys on the street don't have an address or money and you can't get a house unless you've got a job and you can't get a job unless you've got a house."

Council Failures

[What the people say]

The number of pleas for help made to North West councils by people on the brink of homelessness has almost doubled over the last five years.

Shockingly, 20% of these calls came from people who were faced with losing their home within a month or less.

Councils across the North West – Greater Manchester authorities included – have received over **31,000 desperate appeals** from people on the brink of homelessness in the last year, research has revealed.

Mr Robb and the team at Shelter are calling on the public for urgent support – with the regional crisis only set to worsen as Christmas approaches.

The figures published by Shelter have also revealed that **3,600** households in the region were made officially homeless in 2015.

“Sadly, the combination of our **affordable housing shortage and cuts to welfare** means that more and more parents are finding themselves struggling to keep a stable roof over their children’s heads,” he said.

The analysis, based on government statistics, has found that the number of requests made to councils has risen by an astonishing **96% over the last five years.**

[Source: Adam Payne, 14 DEC 2015]

Living Home Standard

43% of homes in Britain don't meet the Living Home Standard

(Source: Shelter 2016)

The 39 statements which make up the Living Home Standard are split across five different dimensions:

- 1 Affordability
- 2 Decent conditions
- 3 Space
- 4 Stability
- 5 Neighbourhood

The standards were developed in 2016 by the public for the public to represent what 'home' means, and to provide a minimum expectation we should all have for our homes. Yet there are 43% of dwellings that fail to live up to this acceptable standard. The dwellings fail if it does not meet all of the essential attributes, or if it doesn't meet approximately 50% of the desirable attributes.

Reasons for failing

Affordability = 27%

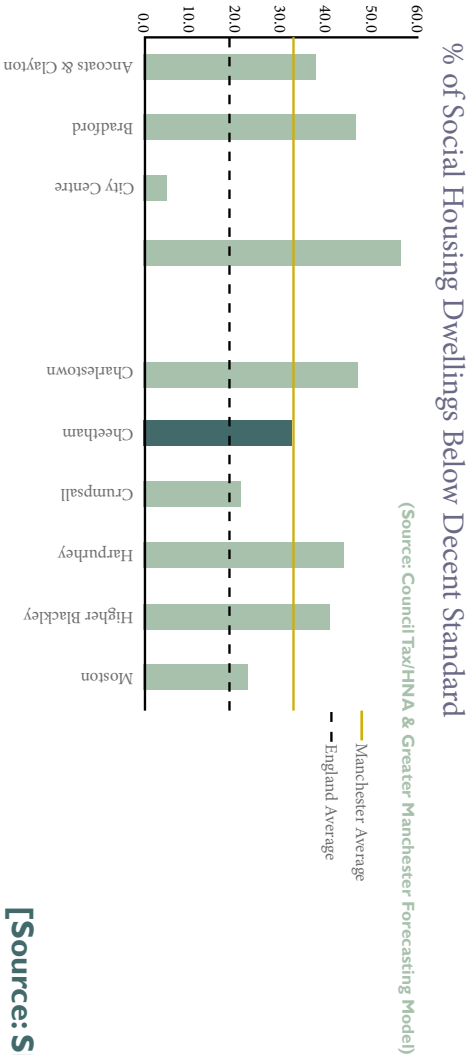
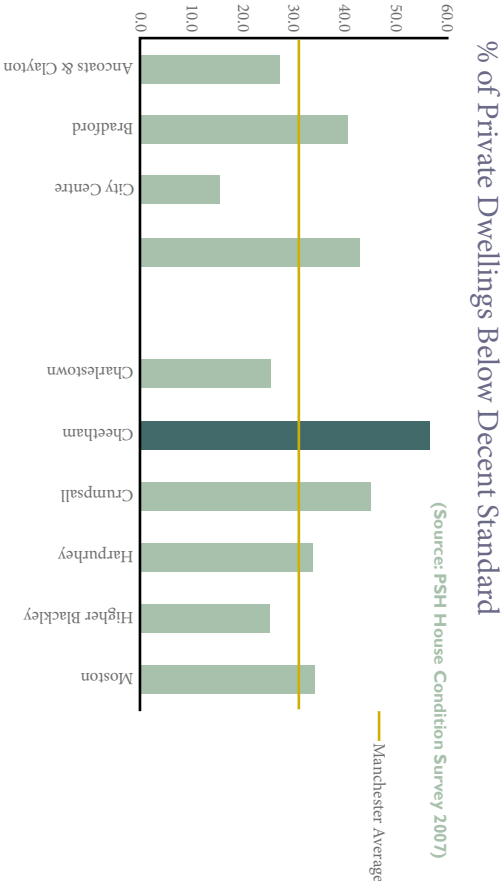
Decent Conditions = 18%

Space = 11%

Stability = 10%

Neighbourhood = 5%

In terms of stock condition, and the percentage of homes that fall below 'Decent Homes' standards, there is a higher percentage of less than 'Decent Home' standards in North West Manchester than in Manchester as a whole. Chetham (56.4%) and Crumpsall (44.8%) have the highest rates of less than 'Decent Homes' in the West, and in the North East wards Bradford (40.2%) and Miles Platting & Newton Heath (42.6%) have the highest. (Note: the House Condition Survey records data for private sector housing only). Of the people living in social housing provided by Northwards Housing in Chetham Hill in 2015, 84% of customers were satisfied with the overall service. However, 16.6% of Local Authority dwellings also fall below the 'Decent Home Standard'.



“It can't be just surviving: you have to fully live.”

(Source: Shelter 2016)

Affordability

[Rental Price Analysis]

On the 10.11.2016 there were 5,532 properties for rent in the Greater Manchester area. On that day the average rental price was £1,313 pcm.

On this day the average rental price for properties with an M8 Postcode was £614.







[Source: home.co.uk]

Living Home Standard
Catch 22

[Housing Benefit Analysis]

According to Value Data Agency there has been a 22.4% increase in rental price in 12 months across greater manchester. Average home costs 42% of the average weekly wage (average cost £8,448)

The figures below reflect the current general recommendations the council offer for Housing Benefit Allowances. [Source: gov.co.uk]

Property	Weekly Amount
 1 Bedroom (or shared accommodation)	Up to £260.64 approx £1130 pcm
 2 Bedrooms	Up to £302.33 approx £1310 pcm
 3 Bedrooms	Up to £354.46 approx £1130 pcm
 4 Bedrooms	Up to £417.02 approx £1807 pcm

[According to the “Living Home Standards”]

Essential Affordability is measured by:

The tenant can meet the rent or mortgage payments on the home without regularly having to cut spending on household essentials like food or heating. The tenant is not worried that rent or mortgage payments could rise to a level that would be difficult to pay.

Tradable Affordability is measured by:

The tenant can meet rent or mortgage payments on the home without regularly preventing participation in social activities. The tenant can meet the rent or mortgage payments on the home without regularly being prevented from putting enough money aside to cover unexpected costs.

[Conclusions]

- Approx 1,250 homes rented out by not-for-profit landlords like housing associations and housing trusts in Cheetham Hill.
- Between 1997 and 2013 there was a significant drop in the amount of people in absolute poverty. The amount of people in relative poverty has fluctuated up and down over the same period.
- There is a continuous problem with housing costs pushing people over the threshold of both relative and absolute poverty.
- The amount of people in poverty residing in social rented accommodation has dropped over the last 12 years. However this is probably due to the reduced amount of social housing available. The increase in people in poverty in private rented accommodation is likely due to the increase in people relying on private rented accommodation due to lack of social housing.

[Source:Various]

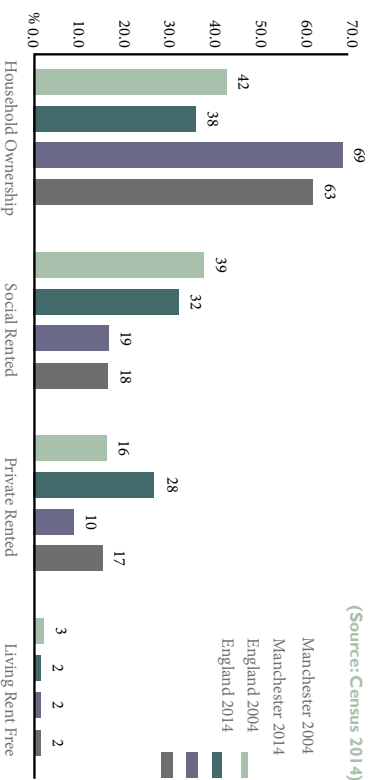
Decent Conditions

In Manchester 67.3% of dwellings are owned privately, 8.2% are owned by Local Authorities, 24.3% are owned by a Registered Social Landlord

Tenure:

the conditions under which land or buildings are held or occupied

Comparison of Dwelling Tenure from 2004-2014

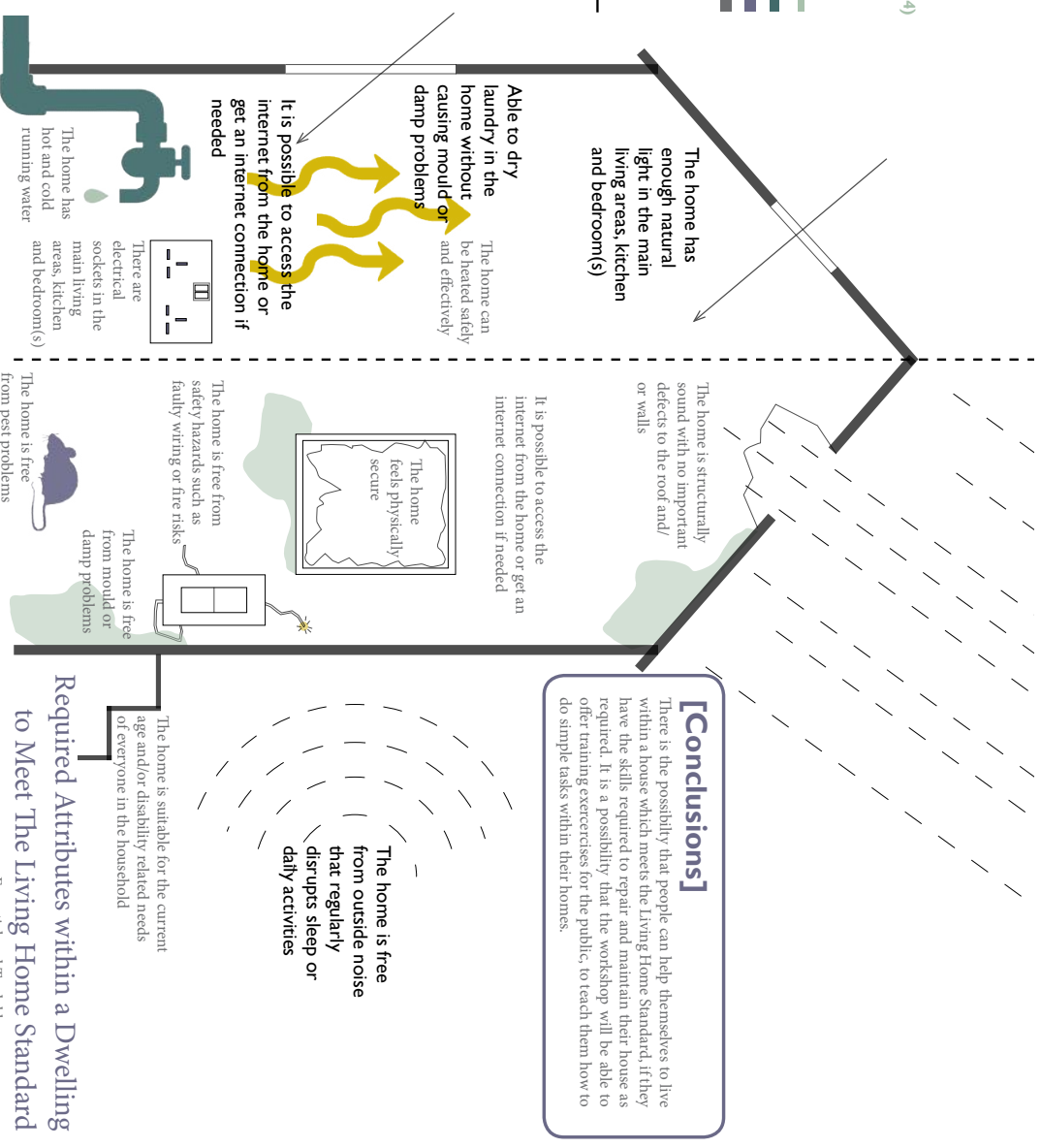


These figures show that less people in Manchester own their home in 2011 when compared to 2001 (-37%) therefore the reliance on rental properties has dramatically increased. Of these, 7% less households in Manchester live in Socially rented accommodation in 2011 when compared to 2001 due to vast amounts of housing stock transferred from the Local Authorities so Housing Associations or being bought by Private Landlords. Due to this, the private rental market saw an increase of 12% from 2001-2011.

In Cheetham Hill the Housing Association Northwards Housing looks after 1300 homes on behalf of the Local Authority. Based on a study conducted by #### in #### it is clear that people would rather live in a home owned by the Local Authority than a private landlord because it is felt in general that the properties are in better condition. Tenants living in social housing run by Northwards housing are given basic advice for carrying out simple repairs on their properties themselves. If it is not a problem they can resolve themselves the handyman service is given a not-for-profit price for the work. This is helping to reduce the amount of problems people have with their properties and therefore stopping many falling below the Living Home Standard.

The ability to heat the home is one of the essential attributed required for the Living Home standard. 15,031 (9%) dwellings didn't have central heating in 2004. This dramatically dropped to 6410 (3%) dwellings in 2014. Although such a significant drop is promising, the 3% that do not have heating in 2014 therefore fail the Living Home Standard.

Catch 22



Space

[Population, Density & Overcrowding]

Manchester Population = 530,292 (2016)

Cheetham Hill Population = 23,784 (2016) 53.2% men

With the population continually increasing, approximately 2% every year. (Increase of 80,202 people between 2001 and 2011) the housing market continues to struggle with undersupply. Momentum of home building diminished significantly in the recession with lows of residential completions in 2011/2012 of 960 homes compared to 5,412 in 2007/8.

This led to an interesting result where, due to the increase in population, some areas, such as Longsight where only 181 properties have been built, despite a rise of population 3,600 people between 2001 and 2011, the number of vacant properties has halved since 2007. In 2015 there was on average 3.8% vacant dwellings in Manchester compared to 2004 when there was 9.8%.

The lack of available properties, together with rising house rental costs has also led to a problem of over crowding with 1.8% of families in Manchester living with another family. Overcrowding can be found particularly in areas with a high influx of migrant workers and also where large families sharing living space is a cultural norm. North West Manchester wards have higher rates of overcrowding, while Cheetham (7%), Crumpsall (10%) and Harpurhey (9%) have the most. In comparison with the wards in the North East, only Bradford (13%) is above the city-wide average of 5%.

In 2015 £300M was awarded by Homes and Communities Agency to

[According to the “Living Home Standards”]

Improve the housing situation in Manchester. Since then a significant portion has already been utilised developing 1,100 homes. One of these developments, Charminster Drive of 23 units, lies in Cheetham Hill. The ambition is to build 25,000 homes by 2025 by building large high density developments in the North and East of Manchester.

There was a 13.36% increase in dwellings in Manchester between 2004-2014 however there was an 18% increase in population over the same period highlighting the massive shortfall in housing provision.

Essential Space is measured by:

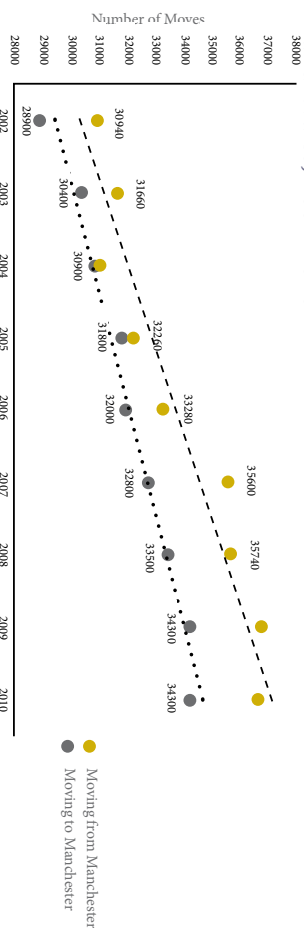
- The number of bedrooms in the home is adequate for all members of the household
- There is enough space to allow all members of the household to have privacy for example when they wish to be alone
- There is enough space for all members of the household to comfortably spend time together in the same room
- There is adequate space to prepare and cook food
- There is adequate space to store essential items, such as a reasonable amount of clothes, towels and bedding

Tradable Space is measured by:

- There are enough bathroom facilities for everyone living in the household to be able to use them at a time suitable for their needs
- The home has access to outdoor space, for example a private or shared garden, or balcony

Number of People Moving Manchester To and From rest of England and Wales, 2001-2010

(Source: OFS 2014)

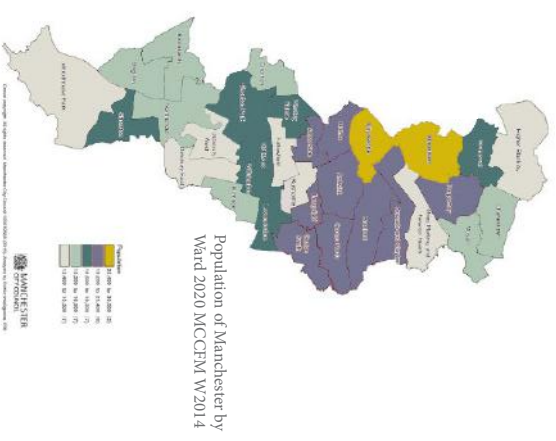


[Conclusions]

The population of Manchester has risen dramatically between the 2001 and 2011 census yet the housing provision has not risen at the same rate. This has led to an increased problem of overcrowding in houses which caused many homes to drop below the Living Home Standard.

The amount of vacant buildings has also fallen significantly due to the increased demand however this is not a sustainable source for the continuously growing population. The lack of supply is causing many people to live in houses which are in poor condition as they have very little choice. It is also resulting in house prices continuously rising, pushing more and more people to rely on benefits or to fall below the poverty line.

- There is enough space for members of the household to study or do work or homework if they need to
- There is enough space for a guest to stay overnight, for instance on a sofa or sofa bed
- There is enough space to store domestic items like vacuum cleaners and ironing boards to keep them out of the way
- There is enough space to store some personal belongings, such as books or children's toys



[Standard for living document]

It is considered essential in the Standard for Living document that the household has enough control over how long they can live in the home.

It is only considered as a tradable standard for if ever given notice to leave the home, the household feels they would be given enough notice to secure somewhere else suitable to live. The tenant should be able to stay in the home long enough to feel part of the local community if wanted. The tenant can make changes to the interior of the home such as decorating, if wanted. And able to keep a pet in the home or garden if wanted.

[Rent Terms]

Social renting households were more evenly distributed across differing residency lengths. A third (35%) of private renters had been resident at their current property for a less than one year, with a diminishing number of households resident for each successive longer period.

A let in the private rented sector commonly has a fixed initial term of 6 or 12 months (although the tenant and landlord can agree a longer fixed term period). After the fixed term ends, if a new one is not agreed, the tenancy will 'roll on'. From this point on, the landlord typically has the right to terminate the tenancy with two months' notice, and the tenant with just one month's notice.

Rent controls were removed in the late 1980s (giving landlords more freedom to set rent levels), and assured shorthold tenancies became the standard, giving greater flexibility in the length of tenancies. Lenders introduced the buy-to-let mortgage at around the same time, attracting many new investors into the private rented sector.

In 2013-2014 The average length of residence of households in the social rented sector was 11.5 years. The average length of residence for private renters was 3.5 years.

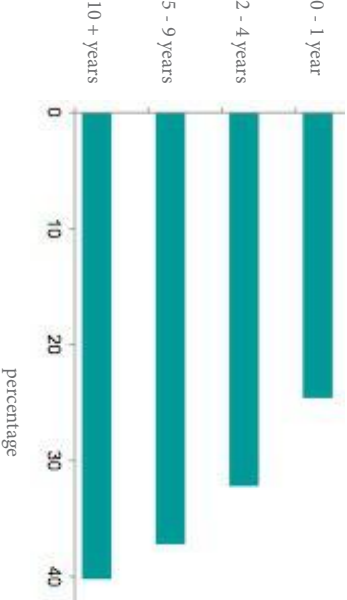
[Length of residence]

According to the Department for Communities and Local Government document completed in 2014, Owner occupiers had been resident in their current property for an average of 17.1 years, social renters had been resident for a shorter period at 11.5 years.

The private rented sector is typified by comparatively shorter tenancies and private renters had the shortest average length of residence at 3.5 years.

In 2013-14, the average length of residence for private renters was 3.5 years. This fluctuated considerably with age, from less than a year among those aged 16-24 to 14 years among those aged 65 and above.

Unemployed renters resided for longer on average compared with those who were working full time (4.1 years compared with 2.5 years), whilst those in the lowest income quintile resided for longer than higher income group (5.5 years compared with 2.4 years in the highest income group).



Neighbourhood

[Social Security Net]

This map outlines some examples of where the community may come together to gain support from advisors and like minded people. The buildings highlighted in red are buildings that represent certain social groups, such as places of worship, job centres, welcome centres and advice centres. However it is clear that within the area that has been defined, the majority of the social net lies in places of worship.

Some examples of these spaces have been outlined below:

Cheetham Hill Welcome Centre
Jamia Masjid North Manchester Mosque
Seventh Day Adventist Church
RCCG Nigerian Church
Manchester Ukrainian Cultural Centre
Irish World Heritage Site
Broughton Hub

The orange pins all locate projects for the community to take part in a activity. Examples of these are:

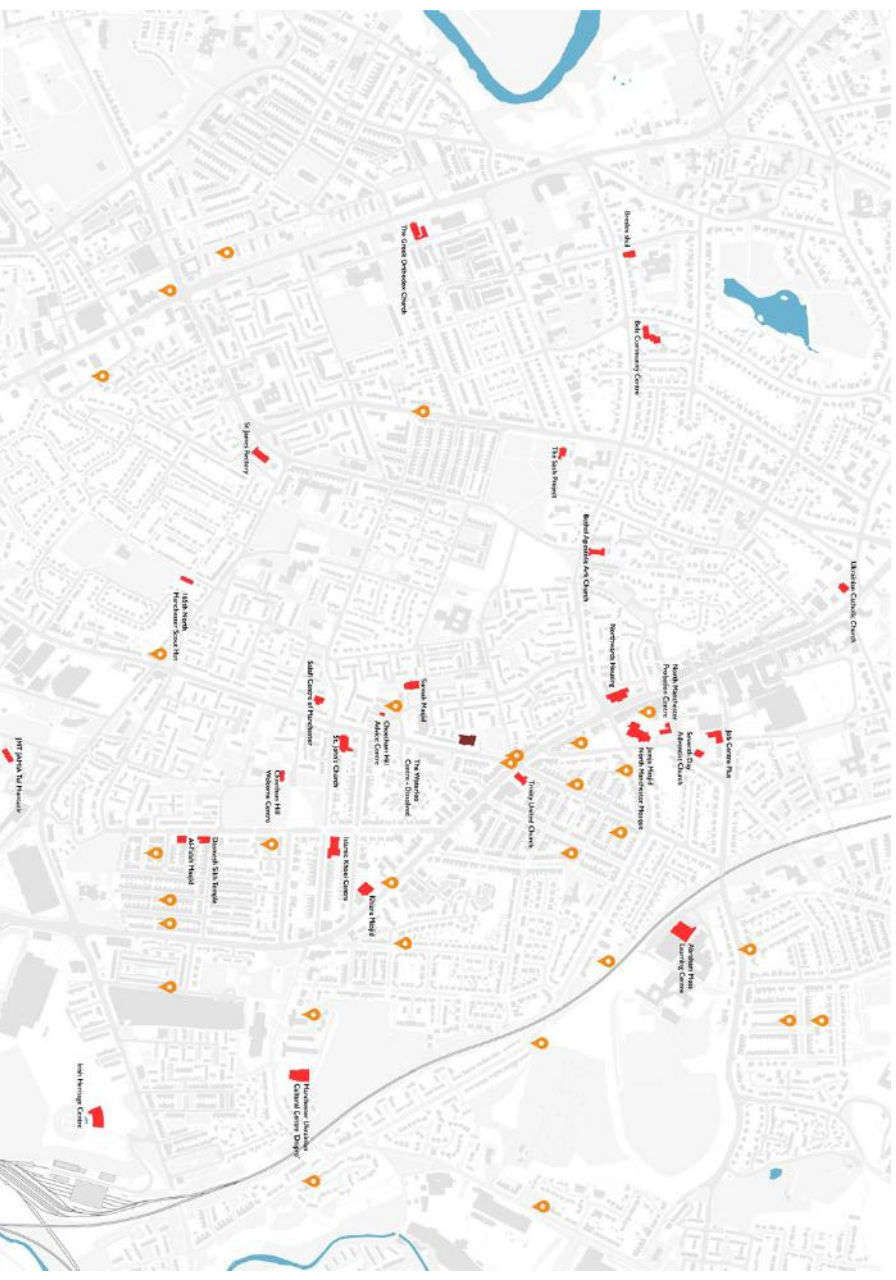
Irish Community Care Allotment Project
Malasia Community
Asian Elders Group
Cheetham Al Hilal Community Project
Abraham Moss warriors
Afro Cats

In initial investigations there appears to be 5 learning centres in the immediate area, and 6 Libraries.

Learning Centres are a vital resource in the area, in 10.3% of people in manchester not speaking english within the household according to the census report.

In the 'Housing experiences and aspirations among low-paid migrant workers in Manchester' 30% of respondents mentioned that language barriers were a key constraint to be able to improvement of their lives.

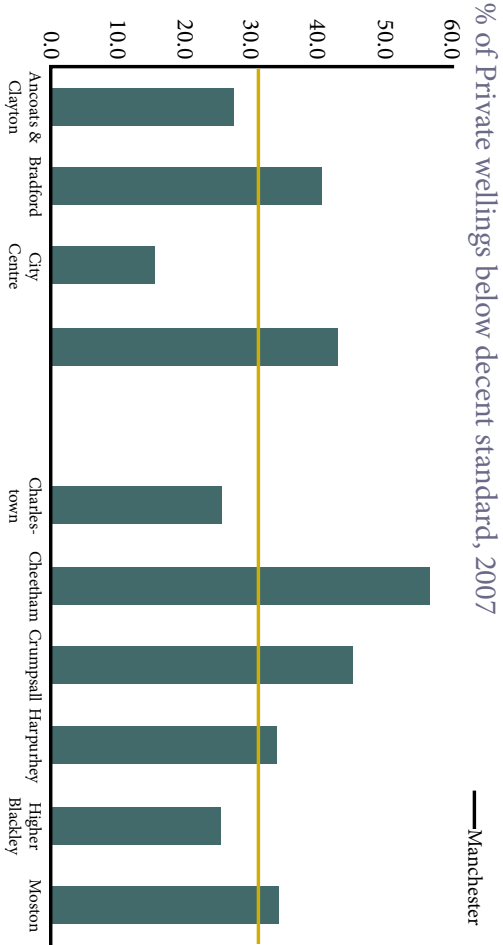
Our intention is, through recorded interviews, to gain further and more conclusive evidence of where people might consider there social security net. It is clear from the research from census and manchester city reports of statistics the percentage of people that have travelled to manchester alone is high, and therefore examples such as listed above are more critical for socio-support.



The 2011/12 survey showed that 77% of respondents were satisfied with their local area as a place to live, slightly higher than the 75% in 2010/11 and 2009/10.

The Living Home Standard states that an essential attribute of Neighbourhood is to feel reasonably safe and secure in the local neighbourhood.

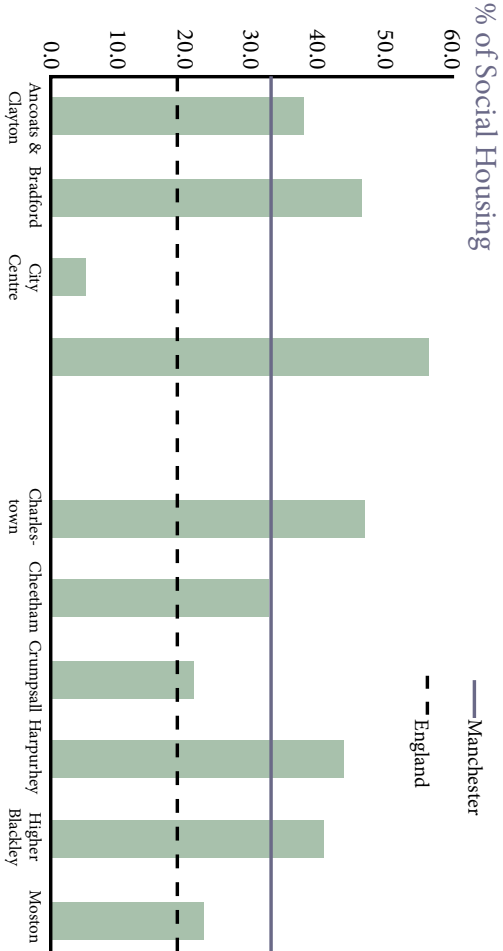
Private and Social Housing Standard Comparison



In terms of stock condition and the percentage of homes that fall below 'Decent Homes' standards, there is a higher percentage of less than 'Decent Home' standards in North West Manchester. Cheetham (56.4%) and Crumpsall (44.8%) have the highest rates of less than 'Decent Homes' in the West, and in the North East wards Bradford (40.2%) and Miles Platting & Newton Heath (42.6%) have the highest. Note that the House Condition Survey records data for private sector housing only; social housing is estimated to have lower rates of overcrowding as where overcrowding occurs efforts are made to rehouse residents.

Hard Data
Catch 22

[Source: PSH House Conition
Survey 2015]



Overcrowding can be found particularly in areas with a high influx of migrant workers and also where large families sharing living space is a cultural norm. North West Manchester wards have higher rates of overcrowding, while Cheetham (7%), Crumpsall (10%) and Harpurhey (9%) have the most. In comparison with the wards in the North East, only Bradford (13%) is above the city-wide average of 5%.

[Source: Council Tax/HNA & Greater
Manchester Forecasting Model 2015]

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